

VICINITY MAP  
© 2008 DeLorme Street Atlas USA

- LEGEND**
- 124 --- EXISTING CONTOUR
  - 125 --- EXISTING SPOT ELEVATION
  - X 123.45 --- EXIST. TOP OF CURB ELEVATION
  - X G 123.45 --- EXIST. GUTTER ELEVATION
  - X W 123.45 --- EXIST. TOP OF WALL ELEVATION
  - X B 123.45 --- EXIST. BOTTOM OF FLOOR ELEVATION
  - X FF 123.45 --- EXIST. FINISHED FLOOR ELEVATION
  - OH --- OVERHEAD WIRES
  - G --- APPROX. LOC. UNDERGROUND GAS LINE
  - E --- APPROX. LOC. UNDERGROUND ELEC. LINE
  - D --- APPROX. LOC. UNDERGROUND DRAINAGE LINE
  - S --- APPROX. LOC. UNDERGROUND SAN. LINE
  - T --- APPROX. LOC. UNDERGROUND TEL. LINE
  - W --- APPROX. LOC. UNDERGROUND WATER LINE
  - WV --- HYDRANT
  - GV --- GAS VALVE
  - GM --- GAS METER
  - EM --- ELECTRIC METER
  - DMH --- DRAINAGE/STORM MANHOLE
  - SMH --- SANITARY/SEWER MANHOLE
  - EMH --- ELECTRIC MANHOLE
  - UMH --- UNKNOWN MANHOLE
  - GO --- CLEAN OUT
  - PO --- POST
  - UP/P --- UTILITY POLE
  - UP/L --- UTILITY POLE/LIGHT POLE
  - GW --- GUY WIRE
  - SL --- STREET LIGHT
  - TS --- TRAFFIC SIGNAL POLE
  - SI --- SIGN
  - B --- BOLLARD
  - MW --- MONITORING WELL
  - MWC --- MONITORING WELL ON CONC.
  - AL --- AREA LIGHT
  - CB --- CATCH BASIN OR INLET
  - DT --- DECIDUOUS TREE & TRUNK SIZE
  - CT --- CONIFEROUS TREE & TRUNK SIZE
  - 10 --- PARKING SPACE COUNT
  - ACS --- ASBESTOS CONC. PIPE
  - CLF --- CHAIN LINK FENCE
  - DC --- DEPRESSED CURB
  - E.P. --- EDGE OF PAVEMENT
  - LSA --- LANDSCAPED AREA
  - MC --- METAL COVER
  - D.W.P. --- DETECTABLE WARNING PAD
  - S.W.L. --- SOLID WHITE LINE
  - S.Y.L. --- SOLID YELLOW LINE
  - 1.0' --- OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE
  - 10 --- TITLE REPORT EXCEPTION

**UTILITIES:**  
THE FOLLOWING COMPANIES WERE NOTIFIED BY NEW JERSEY ONE CALL (1-800-272-1000) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST.  
SERIAL NUMBER(S): 170511009

**UTILITY COMPANY**  
CINNAMINSON SEWERAGE AUTHORITY  
VERIZON  
COMCAST CABLEVISION OF BURLINGTON  
PUBLIC SERVICE ELECTRIC & GAS  
NJ AMERICAN WATER  
SUNESYS, LLC

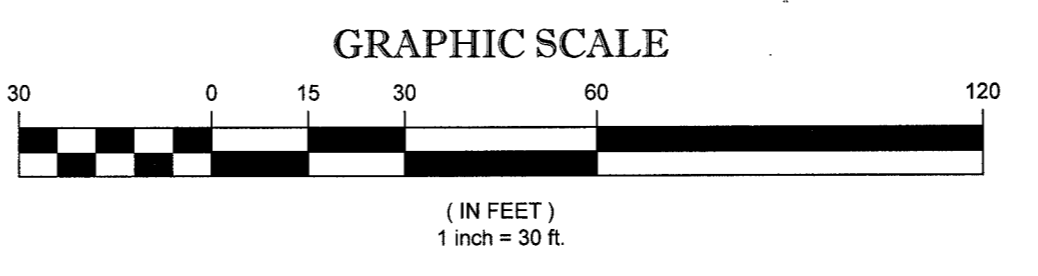
**PHONE NUMBER**  
(845) 829-2271  
(800) 837-4986  
(609) 871-6900  
(609) 365-0006  
(856) 829-3830  
(609) 436-7734



THE STATE OF NEW JERSEY REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.

**HIGHLAND AVENUE**  
(ASPHALT ROADWAY)  
(62.2' WIDE)

**NEW JERSEY STATE HIGHWAY U.S. ROUTE NO. 130**  
(ASPHALT ROADWAY)  
(89' WIDE)



THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION

*James C. Weed*  
**JAMES C. WEED**  
NEW JERSEY PROFESSIONAL LAND SURVEYOR #240504327800  
NEW JERSEY CERTIFICATE OF AUTHORIZATION #240527938600

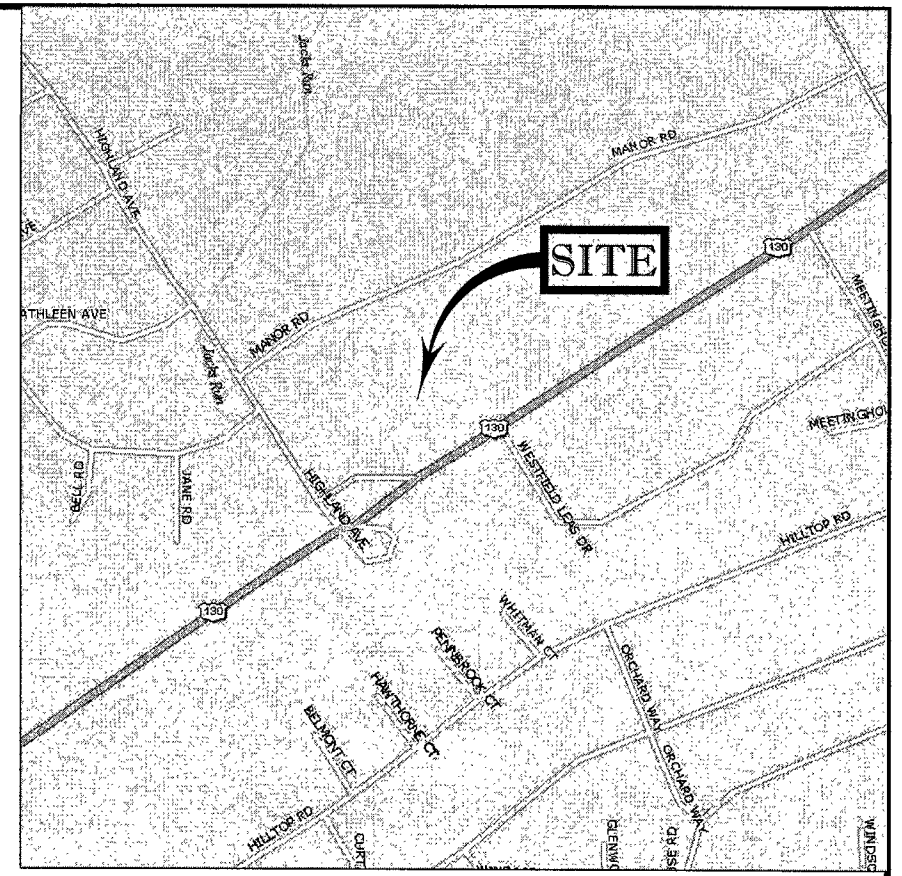
3-9-2018  
DATE

1	REVISED PER CLIENT COMMENT & ADD ADDITIONAL ROADWAY	T.Z.M.D.	M.T.B.	J.A.C.	3-9-2018
No.	DESCRIPTION OF REVISION	FIELD CREW	DRAWN	APPROVED	DATE
1	BOUNDARY & TOPOGRAPHIC SURVEY				
	<b>601-605 ROUTE 130</b>				
	BLOCK 1304, LOTS 18, 19 & 20				
	BLOCK 1305, LOT 1				
	TOWNSHIP OF CINNAMINSON				
	BURLINGTON COUNTY, NEW JERSEY				
	<b>CONTROL POINT ASSOCIATES, INC.</b>				
	305 FELLOWSHIP ROAD - SUITE 210				
	MT. LAUREL, NJ 08054				
	609.857.2099 - 908.666.9595 FAX				
	MANHATTAN, NY 646.780.0411				
	WARREN, NJ 908.668.0099				
	CHALFONT, PA 215.712.9800				
	SOUTHBOROUGH, MA 508.485.3000				
	REVIEWED: MTT				
	APPROVED: JAC				
	DATE: 4-14-2017				
	SCALE: 1"=30'				
	FILE NO: 05-160170-01				
	DWG. NO: 1 OF 2				

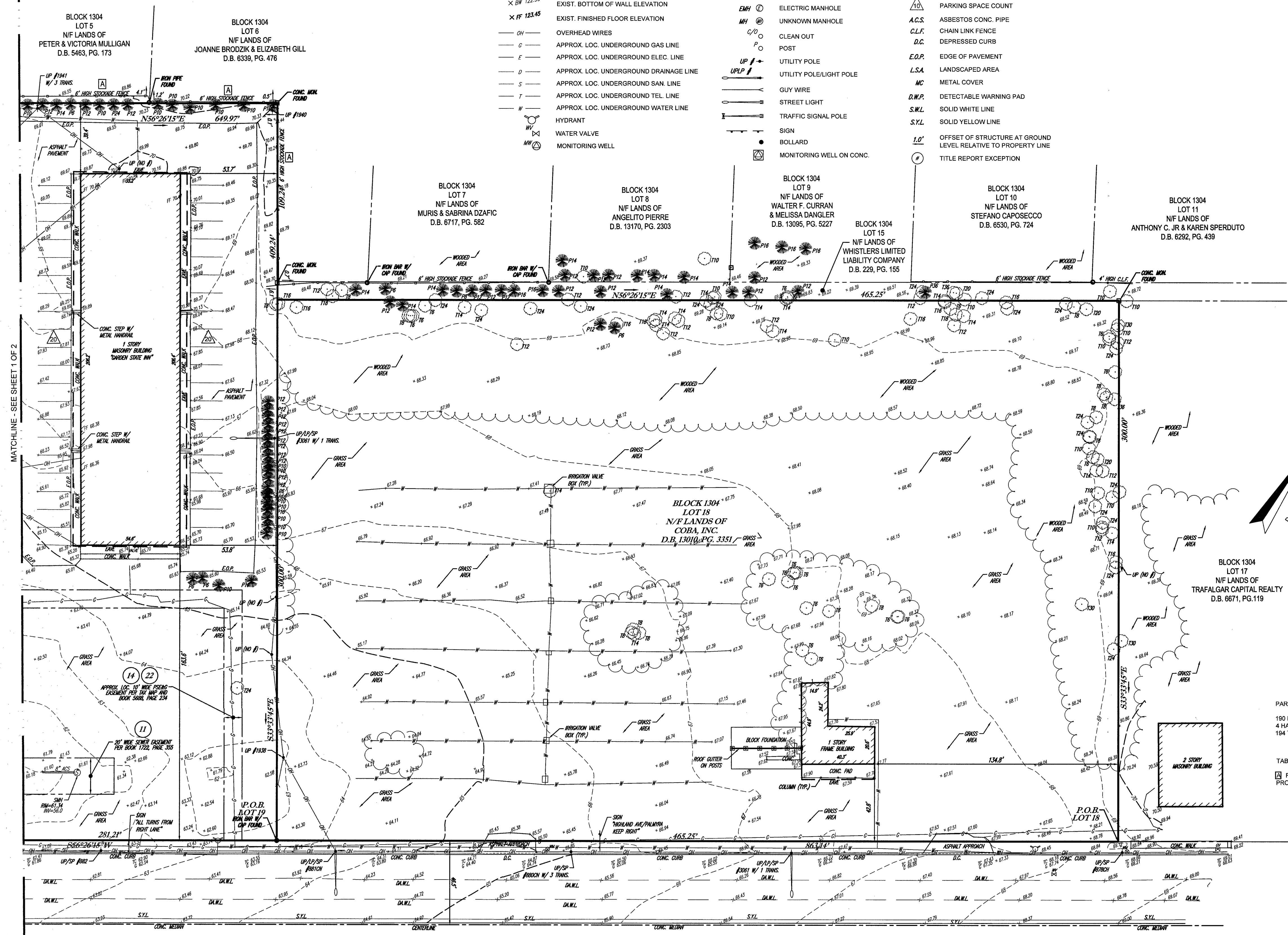
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LEGEND

- 124 --- EXISTING CONTOUR
- X 123.45 EXISTING SPOT ELEVATION
- X TC 123.45 EXIST. TOP OF CURB ELEVATION
- X G 122.95 EXIST. GUTTER ELEVATION
- X TW 123.45 EXIST. TOP OF WALL ELEVATION
- X BW 122.95 EXIST. BOTTOM OF WALL ELEVATION
- X FF 123.45 EXIST. FINISHED FLOOR ELEVATION
- OH --- OVERHEAD WIRES
- G --- APPROX. LOC. UNDERGROUND GAS LINE
- E --- APPROX. LOC. UNDERGROUND ELEC. LINE
- D --- APPROX. LOC. UNDERGROUND DRAINAGE LINE
- S --- APPROX. LOC. UNDERGROUND SAN. LINE
- T --- APPROX. LOC. UNDERGROUND TEL. LINE
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- HYDRANT
- WATER VALVE
- MONITORING WELL
- GV GAS VALVE
- GM GAS METER
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- DMH DRAINAGE/STORM MANHOLE
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- EMH ELECTRIC MANHOLE
- UM UNKNOWN MANHOLE
- CO CLEAN OUT
- P POST
- UP UTILITY POLE
- UPLP UTILITY POLE/LIGHT POLE
- GUY WIRE
- STREET LIGHT
- TRAFFIC SIGNAL POLE
- SIGN
- BOLLARD
- MONITORING WELL ON CONC.
- AREA LIGHT
- CATCH BASIN OR INLET
- DECIDUOUS TREE & TRUNK SIZE
- CONIFEROUS TREE & TRUNK SIZE
- PARKING SPACE COUNT
- A.C.S. ASBESTOS CONC. PIPE
- C.L.F. CHAIN LINK FENCE
- D.C. DEPRESSED CURB
- E.O.P. EDGE OF PAVEMENT
- L.S.A. LANDSCAPED AREA
- MC METAL COVER
- D.W.P. DETECTABLE WARNING PAD
- S.W.L. SOLID WHITE LINE
- S.Y.L. SOLID YELLOW LINE
- 1.0' OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE
- TITLE REPORT EXCEPTION



VICINITY MAP  
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- NOTES:
- PROPERTY KNOWN AS LOTS 18, 19 AND 20, BLOCK 1304 AND LOT 1, BLOCK 1305 AS SHOWN ON THE TAX MAP OF THE TOWNSHIP OF CINNAMINSON, BURLINGTON COUNTY, NEW JERSEY, SHEET NO. 13.
  - BLOCK 1304:  
LOT 18 AREA = 139,575 S.F. OR 3.204 AC.  
LOT 19 AREA = 217,208 S.F. OR 4.986 AC.  
LOT 20 AREA = 81,185 S.F. OR 1.864 AC.  
BLOCK 1305:  
LOT 1 AREA = 15,333 S.F. OR 0.352 AC.  
TOTAL AREA = 453,301 S.F. OR 10.406 AC.
  - LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES BEFORE ANY EXCAVATION IS TO BEGON. ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
  - THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
  - THIS SURVEY IS PREPARED WITH REFERENCE TO A TITLE REPORT PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO. NCS-778789-CHAR, WITH A COMMITMENT DATE OF 2/15/2017, WHERE THE FOLLOWING SURVEY RELATED EXCEPTIONS APPEAR IN SCHEDULE B, SECTION II:  
    - COVENANTS, CONDITIONS AND RESTRICTIONS AS CONTAINED IN BOOK 1039, PAGE 248 & BOOK 1106, PAGE 369 & BOOK 1162, PAGE 97 - NOT A SURVEY MATTER
    - SLOPE AND DRAINAGE RIGHTS TO THE STATE OF NEW JERSEY AS CONTAINED IN BOOK 1469, PAGE 296 - SLOPE 'EW' SHOWN
    - SLOPE AND DRAINAGE RIGHTS TO THE STATE OF NEW JERSEY AS CONTAINED IN BOOK 1497, PAGE 694 - SLOPE 'EW' SHOWN
    - SEWER EASEMENT AS CONTAINED IN BOOK 1722, PAGE 355 (AS TO LOT 19 & 20, BLOCK 1304) - SHOWN
    - RIGHTS GRANTED TO PUBLIC SERVICE ELECTRIC AND GAS COMPANY AND NEW JERSEY BELL TELEPHONE COMPANY AS SET FORTH IN BOOK 3491, PAGE 77 (AS TO LOT 20, BLOCK 1304) - UNDERGROUND TELEPHONE AND ELECTRIC LINES SHOWN
    - SLOPE AND DRAINAGE RIGHTS TO THE STATE OF NEW JERSEY AS CONTAINED IN BOOK 2796, PAGE 186 & BOOK 5079, PAGE 89 - SLOPE 'EW' SHOWN
    - RIGHTS GRANTED TO PUBLIC SERVICE ELECTRIC AND GAS COMPANY AS SET FORTH IN BOOK 5688, PAGE 234 (AS TO LOT 19, BLOCK 1304) - SHOWN
    - DEED OF SUBDIVISION AS CONTAINED IN BOOK 5960, PAGE 426 (AS TO LOT 19 & 20, BLOCK 1304) - BLANKET IN NATURE
    - DRAINAGE AND CROSS ACCESS EASEMENT AS CONTAINED IN BOOK 5960, PAGE 430 (AS TO LOT 19 & 20, BLOCK 1304) - SHOWN
    - TERMS AND CONDITIONS OF LEASE TO JPF1 LLC (SUCCESSOR TO PDF REAL ESTATE LLC VIA ASSIGNMENT) AS EVIDENCED BY A MEMORANDUM THEREOF RECORDED IN BOOK 13212, PAGE 2035 - NOT A SURVEY MATTER
    - LEASEHOLD MORTGAGE AS CONTAINED IN BOOK 13212, PAGE 2041 (AS TO LOT 20, BLOCK 1304)
    - ASSIGNMENT OF RENTS AS CONTAINED IN BOOK 13212, PAGE 2055 - NOT A SURVEY MATTER
    - LEASEHOLD MORTGAGE AS CONTAINED IN BOOK 13223, PAGE 4219 (AS TO LOT 20, BLOCK 1304) - NOT A SURVEY MATTER
    - SUBJECT TO ALL MATTERS SHOWN ON THE PLAN AS RECORDED IN THE RECORDER'S OFFICE OF BURLINGTON COUNTY, NEW JERSEY IN MAP NO. 1035, FILED 05/27/1954 (FOR INFORMATION ONLY) - NO MATTERS TO SHOW
    - LEASEHOLD MORTGAGE AS CONTAINED IN BOOK 13223, PAGE 4219 (AS TO LOT 20, BLOCK 1304) - NOT A SURVEY MATTER
    - ACCESS EASEMENT FOR LOT 20 AS SHOWN ON SHEET 13 OF TAX MAPS FOR THE TOWNSHIP OF CINNAMINSON (AS TO LOT 19 & 20) - SHOWN
    - 76' (10') FOOT WIDE PSEAG EASEMENT AS SHOWN ON SHEET 13 OF TAX MAPS FOR THE TOWNSHIP OF CINNAMINSON (AS TO LOT 19) - SHOWN
    - SUBJECT TO POSSIBLE RIGHTS OF THE STATE OF NEW JERSEY TO LIMIT AND/OR REGULATE ACCESS TO AND FROM SUBJECT LAND AND NEW JERSEY STATE HIGHWAY US ROUTE NO. 130 (AS TO LOT 19 & 20) - BLANKET IN NATURE
    - SUBJECT TO THE RIGHT, BOTH PUBLIC AND PRIVATE, IN AND TO THAT PORTION OF THE SUBJECT PREMISES WHICH LIE WITHIN THE EXISTING RIGHTS OF WAY OF NEW JERSEY STATE HIGHWAY US ROUTE NO. 130 (AS TO LOT 19 & 20) - BLANKET IN NATURE
    - OWING TO VARIATIONS BETWEEN THE TAX MAP AND RECORD DESCRIPTION OF THE SUBJECT PREMISES - BLANKET IN NATURE
    - ANY CLAIM THAT THE TITLE IS SUBJECT TO A TRUST OR LIEN CREATED UNDER THE PERISHABLE AGRICULTURAL COMMODITIES ACT, 1930 (7 U.S.C. §649A, ET SEQ.) OR THE PACKERS AND STOCKYARDS ACT (7 U.S.C. §5181, ET SEQ.) OR UNDER SIMILAR STATE LAWS - NOT A SURVEY MATTER
    - RIGHTS PUBLIC AND PRIVATE IN ALL ROADS, STREETS, LANES, AVENUES OR HIGHWAYS BOUNDING, CROSSING OR AFFECTING PREMISES IN QUESTION - BLANKET IN NATURE

PARKING COUNT  
190 REGULAR SPACES  
4 HANDICAP SPACES  
194 TOTAL SPACES

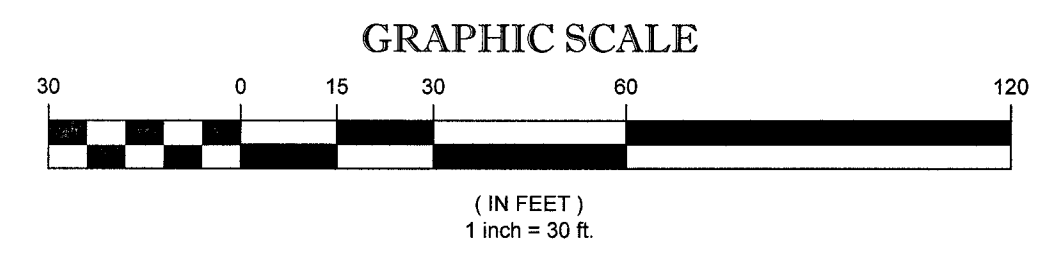
TABLE OF APPARENT ENCROACHMENTS  
FENCES ALONG NORTHWESTERLY PROPERTY LINE

NEW JERSEY STATE HIGHWAY U.S. ROUTE NO. 130  
(ASPHALT ROADWAY)  
(93' WIDE)

UTILITIES:  
THE FOLLOWING COMPANIES WERE NOTIFIED BY NEW JERSEY ONE CALL (1-800-272-1000) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. SERIAL NUMBER(S): 170511009

UTILITY COMPANY	PHONE NUMBER
CINNAMINSON SEWERAGE AUTHORITY	(845) 829-2271
VERIZON	(800) 837-4966
COMCAST CABLEVISION OF BURLINGTON	(800) 871-8900
PUBLIC SERVICE ELECTRIC & GAS	(800) 365-0000
NJ AMERICAN WATER	(856) 628-3830
SUNESYS, LLC	(800) 436-7734

- REFERENCES:
- THE TAX MAP OF THE TOWNSHIP OF CINNAMINSON, BURLINGTON COUNTY, NEW JERSEY, SHEET NO. 13.
  - MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP AND STREET INDEX, TOWNSHIP OF CINNAMINSON, BURLINGTON COUNTY, NEW JERSEY, ONLY PANEL PRINTED", COMMUNITY-PANEL NUMBER 3400082 0005 B, MAP REVISED: NOVEMBER 20, 1991.
  - MAP ENTITLED "NEW JERSEY STATE HIGHWAY DEPARTMENT GENERAL PROPERTY PARCEL MAP, ROUTE U.S. 130 (1953) SECTION 8, NEW ALBANY TO PENNSAUKEN CREEK SHOWING EXISTING RIGHT OF WAY AND PARCELS TO BE ACQUIRED IN THE TOWNSHIP OF CINNAMINSON, COUNTY OF BURLINGTON, SHEET 10 OF 16.



THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

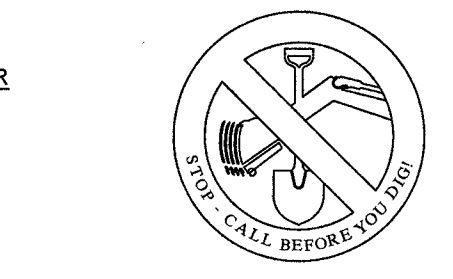
NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION

*James C. Weed*  
**JAMES C. WEED**  
NEW JERSEY PROFESSIONAL LAND SURVEYOR #24GS04327800  
NEW JERSEY CERTIFICATE OF AUTHORIZATION #24GS04327800

3-9-2018  
DATE

1	REVISED PER CLIENT COMMENT & ADD ADDITIONAL ROADWAY	T.Z.M.D.	M.T.B.	J.A.C.	3-9-2018
No.	DESCRIPTION OF REVISION	FIELD CREW	DRAWN	APPROVED	DATE
FIELD DATE	3-12-17	<b>BOUNDARY &amp; TOPOGRAPHIC SURVEY</b>			
FIELD BOOK NO.	17-01	<b>601-605 ROUTE 130</b>			
FIELD BOOK PG.	55-57	BLOCK 1304, LOTS 18, 19 & 20 BLOCK 1305, LOT 1 TOWNSHIP OF CINNAMINSON BURLINGTON COUNTY, NEW JERSEY			
FIELD CREW	TZ/MH	<b>CONTROL POINT ASSOCIATES, INC.</b>			
DRAWN	AH	305 FELLOWSHIP ROAD - SUITE 210 MT. LAUREL, NJ 08054 609.657.2099 - 908.668.9595 FAX MANHATTAN, NY 646.780.0411 WARREN, NJ 908.668.0099 CHALFONT, PA 215.712.9800 SOUTHBOROUGH, MA 508.348.3300			
REVIEWED:	MTT	DATE	SCALE	FILE NO.	DWG. NO.
	JAC	4-14-2017	1"=30'	05-160170-01	2 OF 2

CONTROL POINT ASSOCIATES, INC. ALL RIGHTS RESERVED. NO PART OF THIS SURVEY OR THE INFORMATION CONTAINED HEREIN IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CONTROL POINT ASSOCIATES, INC.



THE STATE OF NEW JERSEY REQUIRES NOTIFICATION BY INDICATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE

ZONING TABLE

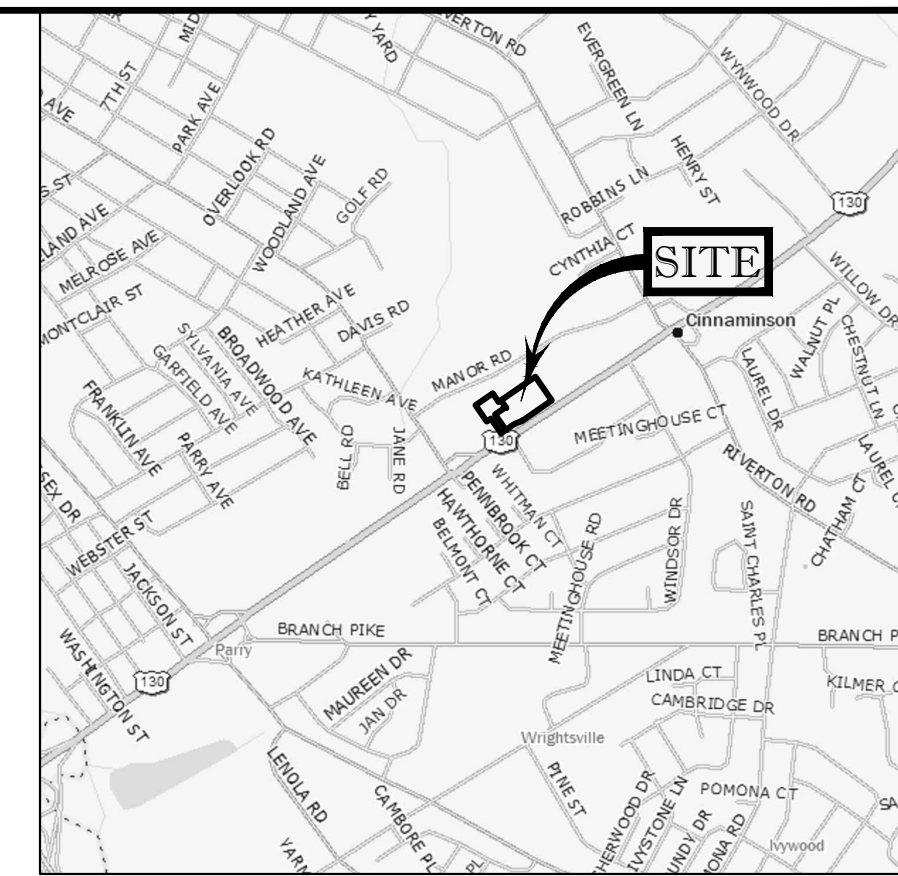
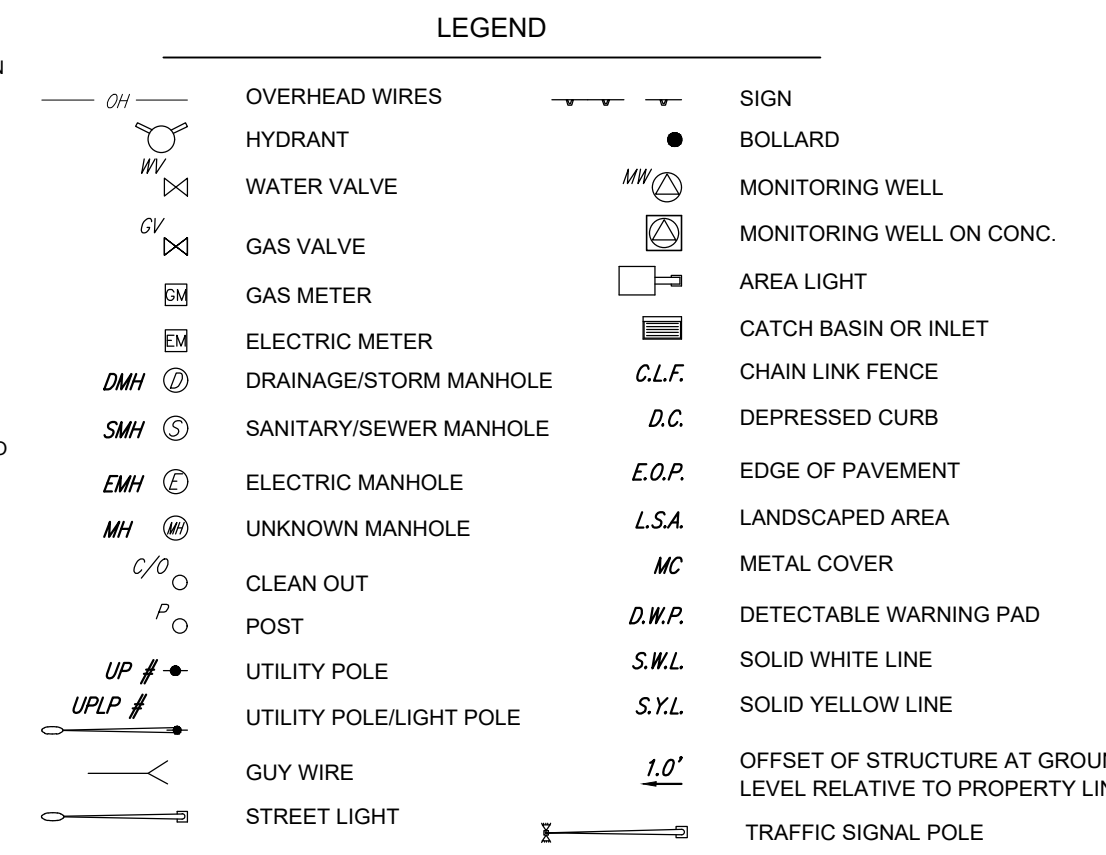
ZONE: BD (BUSINESS DEVELOPMENT DISTRICT & REDEVELOPMENT PLAN)
USE: GROCERY STORE & EXISTING RESTAURANT (PERMITTED USES)
BLOCK 1304, LOTS 18, 19 & 20
BLOCK 1305, LOT 1

BULK REQUIREMENTS

Table with columns: ITEM, CODE, PERMITTED, EXISTING LOT 18, PROPOSED LOT 18.01, PROPOSED LOT 18.02. Rows include MIN. LOT AREA, MIN. LOT WIDTH, MIN. FRONT YARD, etc.

200' OWNERS LIST table with columns: BLOCK, LOT, PROPERTY OWNER, PROPERTY LOCATION, BLOCK, LOT, PROPERTY OWNER, PROPERTY LOCATION.

- NOTES: 1. PROPERTY KNOWN AS LOTS 18, 19 AND 20, BLOCK 1304 AND LOT 1, BLOCK 1305 AS SHOWN ON THE TAX MAP OF THE TOWNSHIP OF CINNAMINSON, BURLINGTON COUNTY, NEW JERSEY, SHEET NO. 15.
2. BLOCK 1304: EXISTING LOT 18 AREA = 213,737 S.F. OR 4.907 AC.



APPLICANT/ OWNER INFORMATION table listing APPLICANT (LIDL U.S. OPERATIONS, LLC), PROPERTY OWNER (TOWNSHIP OF CINNAMINSON), and other details.

- REFERENCES: 1. THE TAX MAP OF THE TOWNSHIP OF CINNAMINSON, BURLINGTON COUNTY, NEW JERSEY, SHEET NO. 13.
2. MAP ENTITLED 'NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP AND STREET INDEX, TOWNSHIP OF CINNAMINSON, BURLINGTON COUNTY, NEW JERSEY, ONLY PANELS PRINTED', COMMUNITY PANEL NUMBER 34002, 0005 B, MAP REVISED, NOVEMBER 20, 1991.

APPROVAL BLOCK

I HAVE CAREFULLY EXAMINED THIS MAP AND TO THE BEST OF MY KNOWLEDGE AND BELIEF FIND IT CONFORMS WITH THE PROVISIONS OF 'THE MAP FILING LAW', RESOLUTION OF APPROVAL AND APPLICABLE MUNICIPAL ORDINANCES AND REQUIREMENTS

APPROVAL BLOCK

THE MONUMENTS SHOWN ON THIS MAP SHALL BE SET WITHIN THE TIME LIMIT PROVIDED IN THE 'MUNICIPAL LAND USE LAW' P.L. 1975, C.291 (C.40:55-1 et seq.) OR LOCAL ORDINANCE. I CERTIFY THAT A BOND HAS BEEN GIVEN TO THE MUNICIPALITY, GUARANTEEING THE FUTURE SETTING OF THE MONUMENTS AS DESIGNATED AND SHOWN ON THIS MAP.

APPROVAL BLOCK

THIS MAP COMPLIES WITH THE MAP FILING LAW AND IS APPROVED BY THE CINNAMINSON TOWNSHIP PLANNING BOARD.

APPROVAL BLOCK

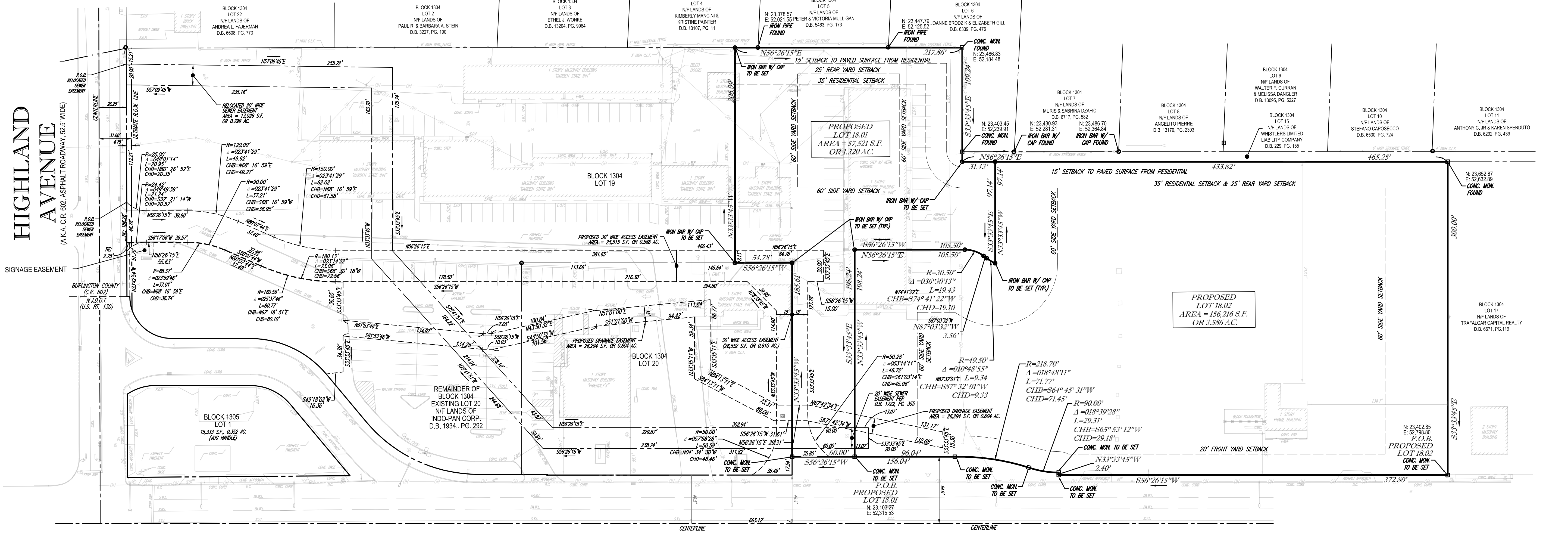
THIS PLAN IS HEREBY APPROVED BY THE BURLINGTON COUNTY PLANNING BOARD SUBJECT TO THE RESTRICTIONS, AGREEMENTS, AND CONDITIONS SET FORTH BY THE BURLINGTON COUNTY PLANNING BOARD.

APPLICANT CERTIFICATION

I CERTIFY THAT I AM AGENT OF THE LAND AND THE OWNER HAS GIVEN CONSENT UNDER AN OPTION AGREEMENT.

OWNER CERTIFICATION

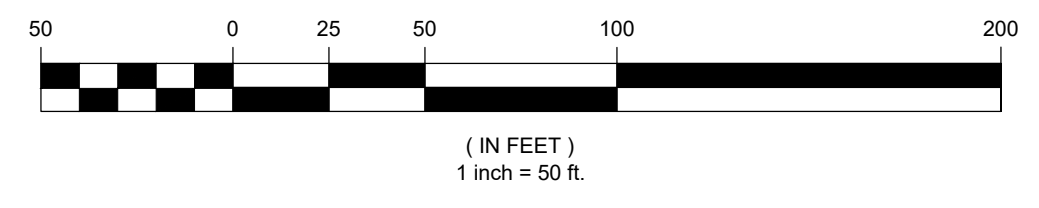
I CERTIFY THAT I AM THE OWNER OF BLOCK 1304, LOT 18 AND CONSENT TO THE FILING OF THIS APPLICATION.



U.S. HIGHWAY ROUTE NO. 130

(ASPHALT ROADWAY) (93' WIDE)

GRAPHIC SCALE



I CERTIFY TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF THAT THIS MAP AND LAND SURVEY (DATED 6-7-2018) HAS BEEN MADE UNDER MY SUPERVISION AND MEET THE MINIMUM SURVEY DETAIL REQUIREMENTS OF THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THE MAP HAS BEEN MADE UNDER MY SUPERVISION, AND COMPLIES WITH THE 'MAP FILING LAW' AND THAT THE OUTBOUND CORNER MARKERS AS SHOWN HAVE BEEN FOUND, OR SET.

JAMES C. WEED
NEW JERSEY PROFESSIONAL LAND SURVEYOR #04327800
NEW JERSEY CERTIFICATE OF AUTHORIZATION #24627938800

05-05-2021 DATE

Table with columns: FIELD DATE, FIELD BOOK NO., FIELD BOOK PG., FIELD CREW, DRAWN, REVIEWED, APPROVED, DATE, SCALE, FILE NO., DWG. NO. Includes 'MINOR SUBDIVISION PLAN WESTRUM DEVELOPMENT' and 'CONTROL POINT ASSOCIATES, INC.' information.

CONTROL POINT ASSOCIATES, INC. - ALL RIGHTS RESERVED. ORIGINAL PROJECT OR THE PURPOSE ORIGINAL INTENDED, WITHOUT THE WRITTEN PERMISSION OF CONTROL POINT ASSOCIATES, INC. IS PROHIBITED.



1  
T-104  
**FRONT ELEVATION**  
Scale: 3/32" = 1'-0"



2  
T-104  
**REAR ELEVATION**  
Scale: 3/32" = 1'-0"



3  
T-104  
**LEFT ELEVATION (MANOR RD).**  
Scale: 3/32" = 1'-0"



4  
T-104  
**RIGHT ELEVATION (RT. 130)**  
Scale: 3/32" = 1'-0"

**JRP Architects**  
architecture • interior design  
J. Randolph Parry, Jr.  
613 Main Street, Riverton, New Jersey, 08077  
Tel 856.829.9500 Fax 856.829.9501 www.jparch.com

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John Randolph Parry, Jr.  
NJ 08078 VA 040160626 PA 040087002

No.	Revision Description	Phase	Date

Project Title  
**ARBUR SQUARE CINNAMINSON  
WESTRUM  
DEVELOPMENT**  
Drawing Title  
**ELEVATIONS**

605 ROUTE 190  
CINNAMINSON, NEW JERSEY 08077

Job Number  
Sheet Date  
05/06/21

**T-104**

Scale 3/32" = 1'-0"



1  
T-105  
**FRONT LEFT INSIDE ELEVATION**  
Scale: 3/32" = 1'-0"



3  
T-105  
**FRONT RIGHT INSIDE ELEVATION**  
Scale: 3/32" = 1'-0"



4  
T-105  
**REAR RIGHT INSIDE ELEVATION**  
Scale: 3/32" = 1'-0"



2  
T-105  
**REAR LEFT INSIDE ELEVATION**  
Scale: 3/32" = 1'-0"



6  
T-105  
**REAR INSIDE LEFT TO CENTER**  
Scale: 3/32" = 1'-0"



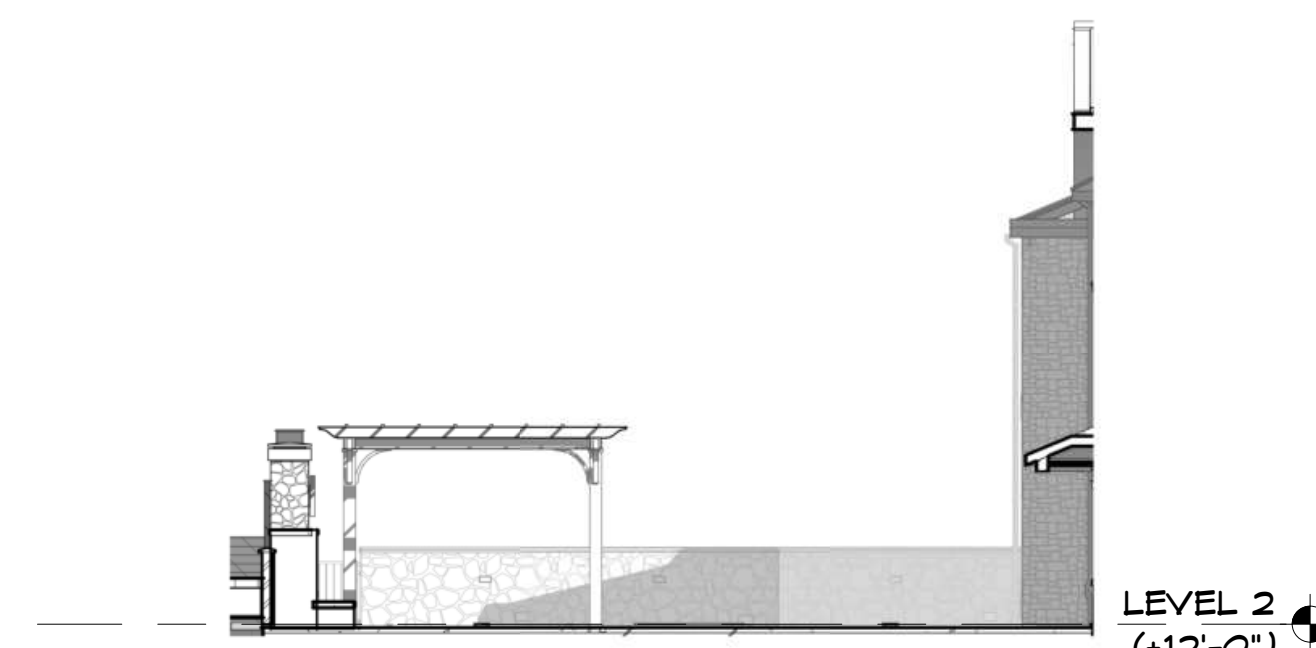
5  
T-105  
**REAR ELEVATION**  
Scale: 3/32" = 1'-0"



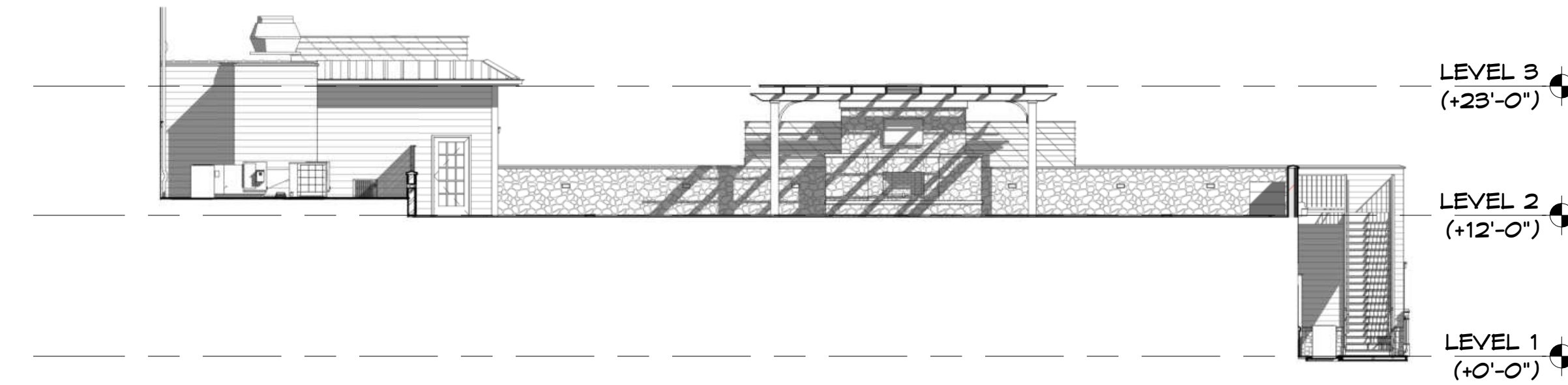
7  
T-105  
**REAR INSIDE RIGHT TO CENTER**  
Scale: 3/32" = 1'-0"



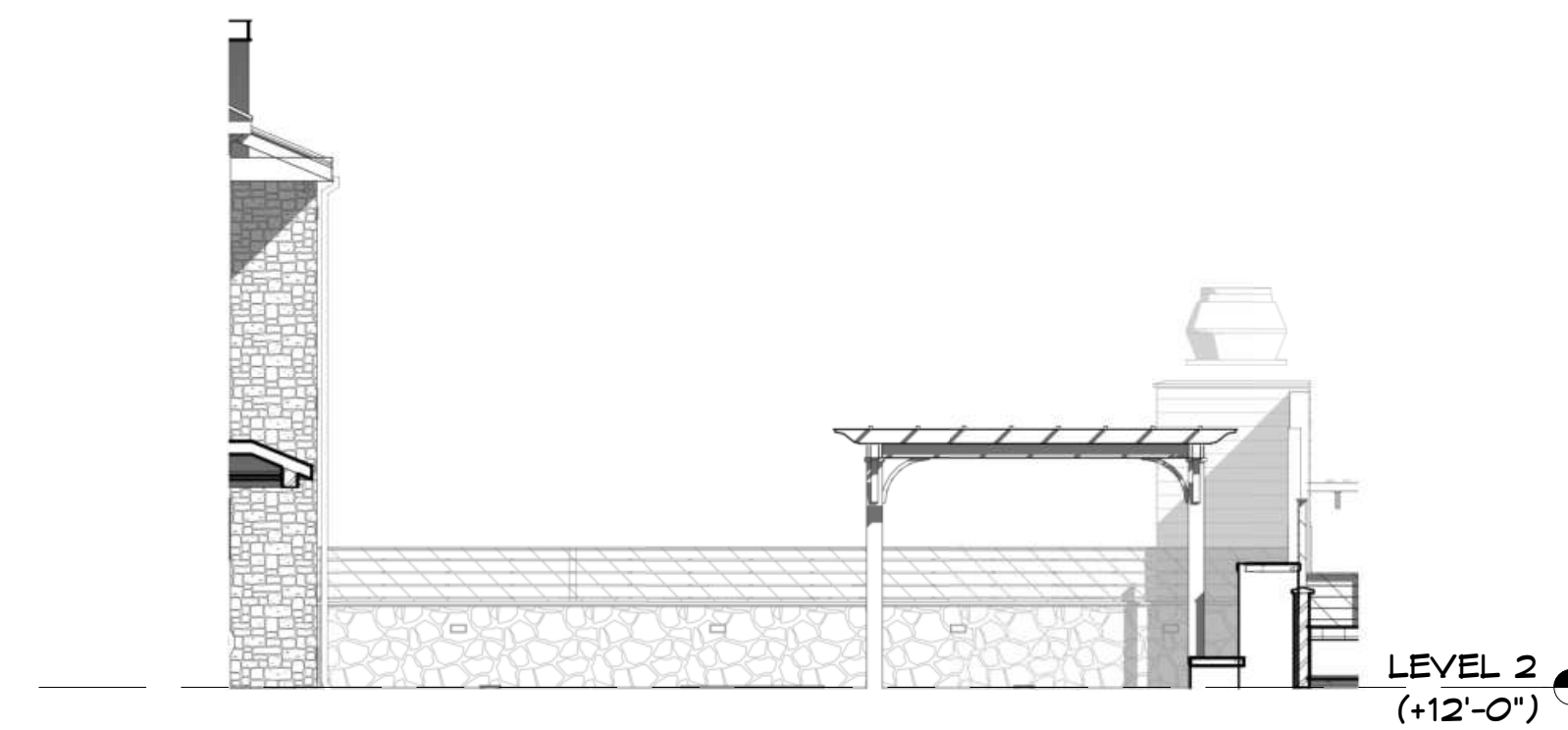
10  
T-105  
**DINING ELEVATION**  
Scale: 3/32" = 1'-0"



11  
T-105  
**TERRACE RIGHT**  
Scale: 3/32" = 1'-0"



8  
T-105  
**TERRACE**  
Scale: 3/32" = 1'-0"



9  
T-105  
**TERRACE LEFT**  
Scale: 1/8" = 1'-0"

**JRP Architects**  
architecture • interior design  
J. Randolph Parry Architects, PC  
613 Main Street, Riverton, New Jersey, 08077  
Tel 856.829.9500 Fax 856.829.9501 www.jparch.com

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John Randolph Parry, Jr.  
NJ 08078 VA 040106526 PA 040087003

No.	Revision Description	Phase	Date

Project Title  
**ARBUR SQUARE CINNAMINSON WESTRUM DEVELOPMENT ELEVATIONS**

605 ROUTE 190  
CINNAMINSON, NEW JERSEY 08077

Job Number  
Sheet Date 05/06/21

Drawing Title  
**T-105**

Scale  
As indicated



ROOF LEVEL (+32'-6")  
 LEVEL 3 (+23'-0")  
 LEVEL 2 (+12'-0")  
 LEVEL 1 (+0'-0")

BUILDING HEIGHT  
 41'-2"

1 FRONT ELEVATION  
 T-104 Scale: 3/32" = 1'-0"



LEVEL 3 (+23'-0")  
 LEVEL 2 (+12'-0")  
 LEVEL 1 (+0'-0")

2 REAR ELEVATION  
 T-104 Scale: 3/32" = 1'-0"



ROOF LEVEL (+32'-6")  
 LEVEL 3 (+23'-0")  
 LEVEL 2 (+12'-0")  
 LEVEL 1 (+0'-0")

3 LEFT ELEVATION (MANOR RD)  
 T-104 Scale: 3/32" = 1'-0"



ROOF LEVEL (+32'-6")  
 LEVEL 3 (+23'-0")  
 LEVEL 2 (+12'-0")  
 LEVEL 1 (+0'-0")

4 RIGHT ELEVATION (RT. 130)  
 T-104 Scale: 3/32" = 1'-0"

**JRP Architects**  
 architecture • interior design  
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Seal  
 John Randolph Parry, Jr.  
 NJ #003786 VA #01060626 PA #A00087000

No.	Revision Description	Phase	Date

Project Title  
**ARBUR SQUARE CINNAMINSON  
 WESTRUM  
 DEVELOPMENT**  
 Drawing Title  
**ELEVATIONS**

605 ROUTE 130  
 CINNAMINSON, NEW JERSEY 08077

Job Number  
 Sheet Date 05/06/21

**T-104**  
 Scale 3/32" = 1'-0"



1  
T-105  
FRONT LEFT INSIDE  
ELEVATION  
Scale: 3/32" = 1'-0"



3  
T-105  
FRONT RIGHT INSIDE  
ELEVATION  
Scale: 3/32" = 1'-0"



4  
T-105  
REAR RIGHT INSIDE  
ELEVATION  
Scale: 3/32" = 1'-0"



2  
T-105  
REAR LEFT INSIDE  
ELEVATION  
Scale: 3/32" = 1'-0"



6  
T-105  
REAR INSIDE LEFT TO  
CENTER  
Scale: 3/32" = 1'-0"



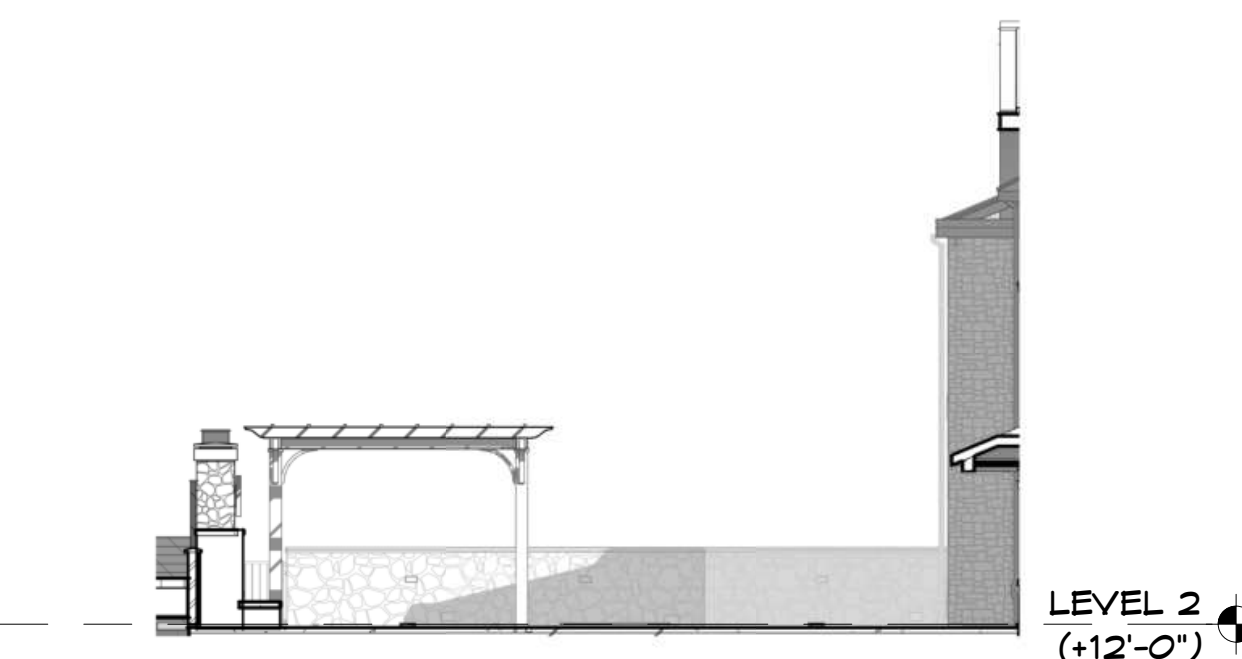
5  
T-105  
REAR ELEVATION  
Scale: 3/32" = 1'-0"



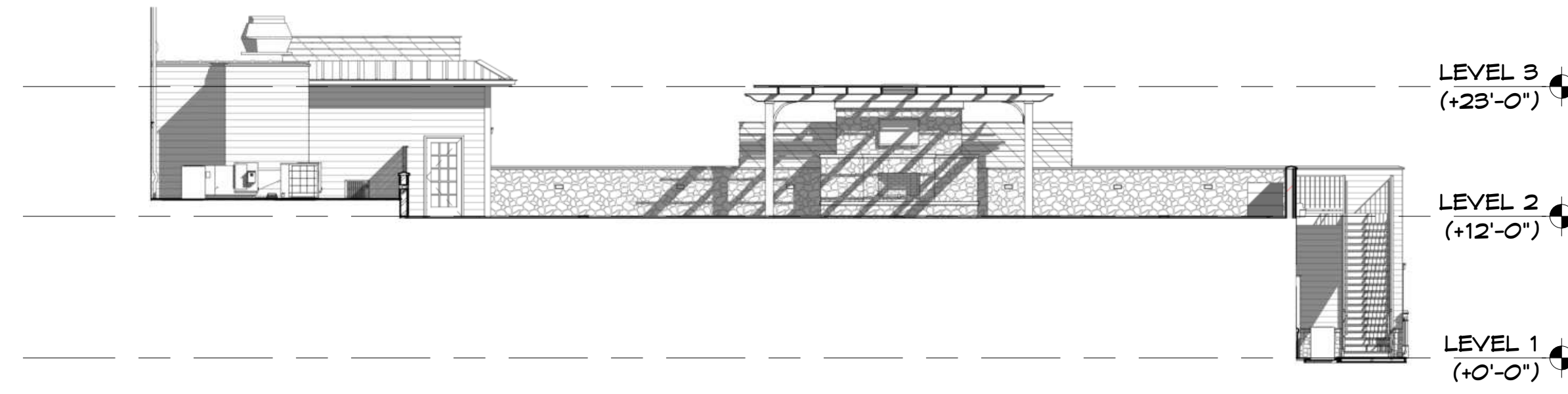
7  
T-105  
REAR INSIDE RIGHT TO  
CENTER  
Scale: 3/32" = 1'-0"



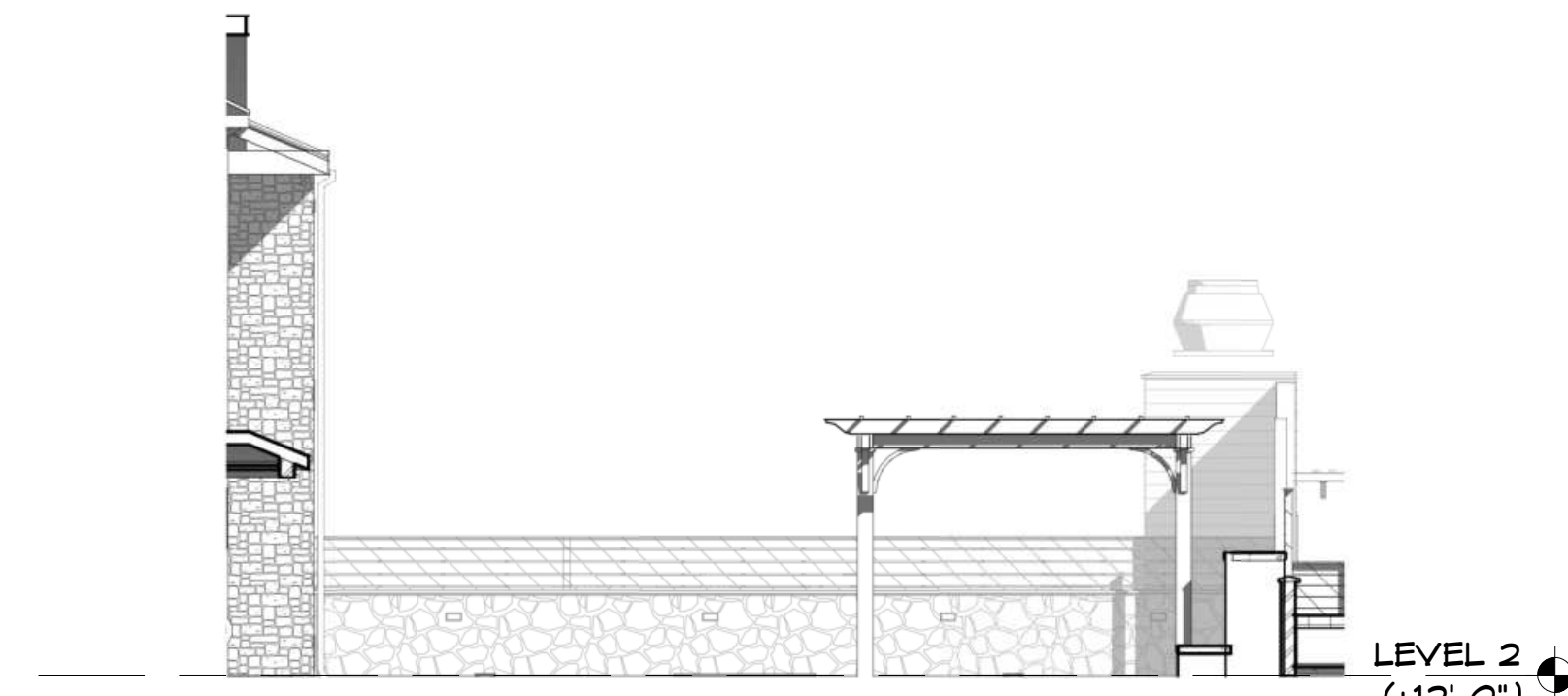
10  
T-105  
DINING ELEVATION  
Scale: 3/32" = 1'-0"



11  
T-105  
TERRACE RIGHT  
Scale: 3/32" = 1'-0"



8  
T-105  
TERRACE  
Scale: 3/32" = 1'-0"



9  
T-105  
TERRACE LEFT  
Scale: 1/8" = 1'-0"

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John Randolph Parry, Jr.  
NJ 08078 VA 041060626 PA 04008700X  
Scale

No.	Revision Description	Date
B	ZONING & PLANNING	05/06/21

Project Title  
**ARBUR SQUARE CINNAMINSON  
WESTRUM  
DEVELOPMENT**  
Drawing Title  
**ELEVATIONS**  
Job Number  
Sheet Date  
05/06/21

T-105  
Scale  
As indicated

# PRELIMINARY AND FINAL MAJOR SITE PLAN & MINOR SUBDIVISION PLAN

FOR  
CSW AS VI CINNAMINSON URBAN RENEWAL L.P.  
C/O



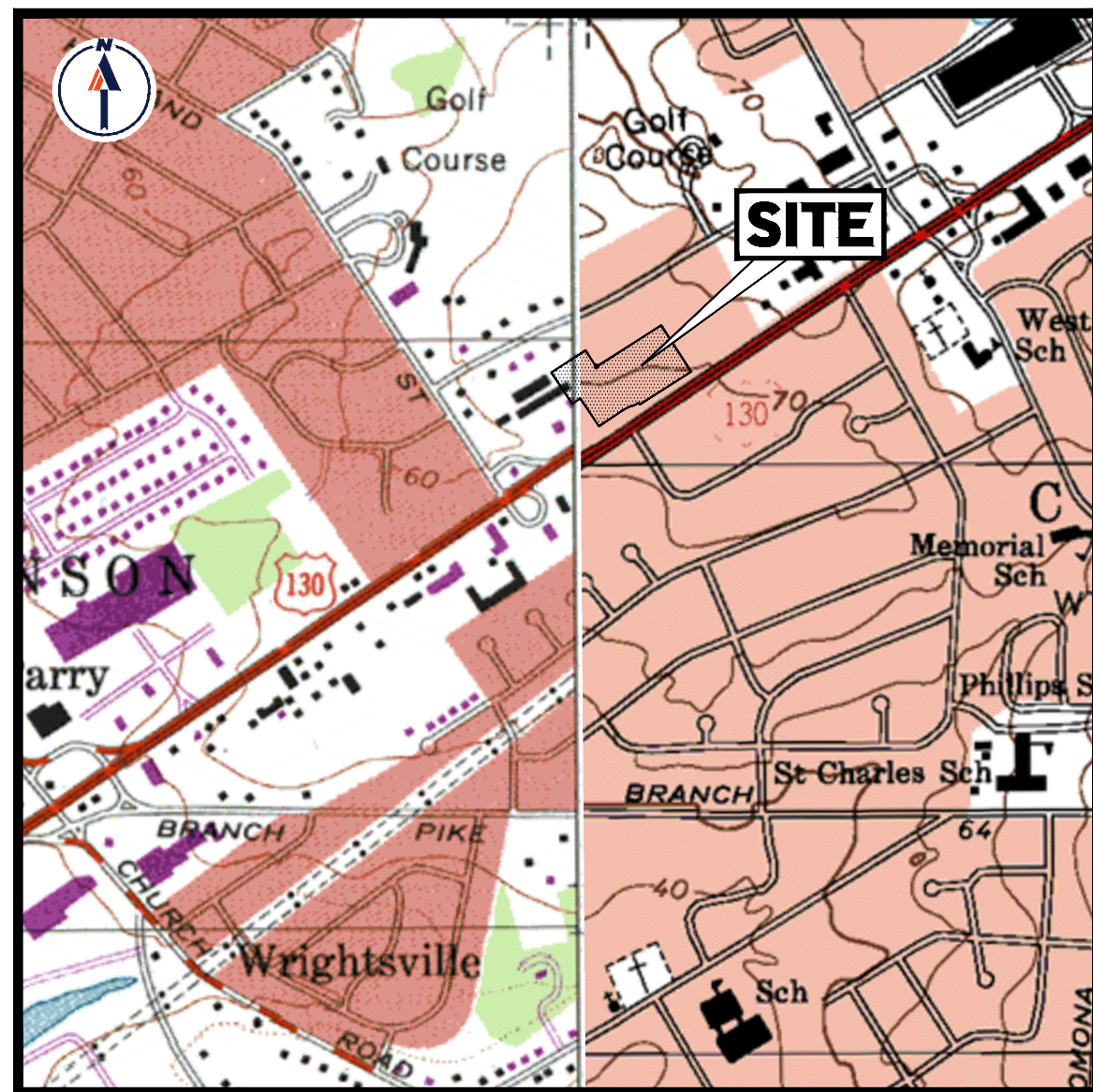
PROPOSED  
**SENIOR LIVING FACILITY**

MAP: 13 BLOCK: 1304 EXISTING LOT: 18; PROPOSED LOTS: 18.01 & 18.02

605 N.J.S.H. ROUTE 130

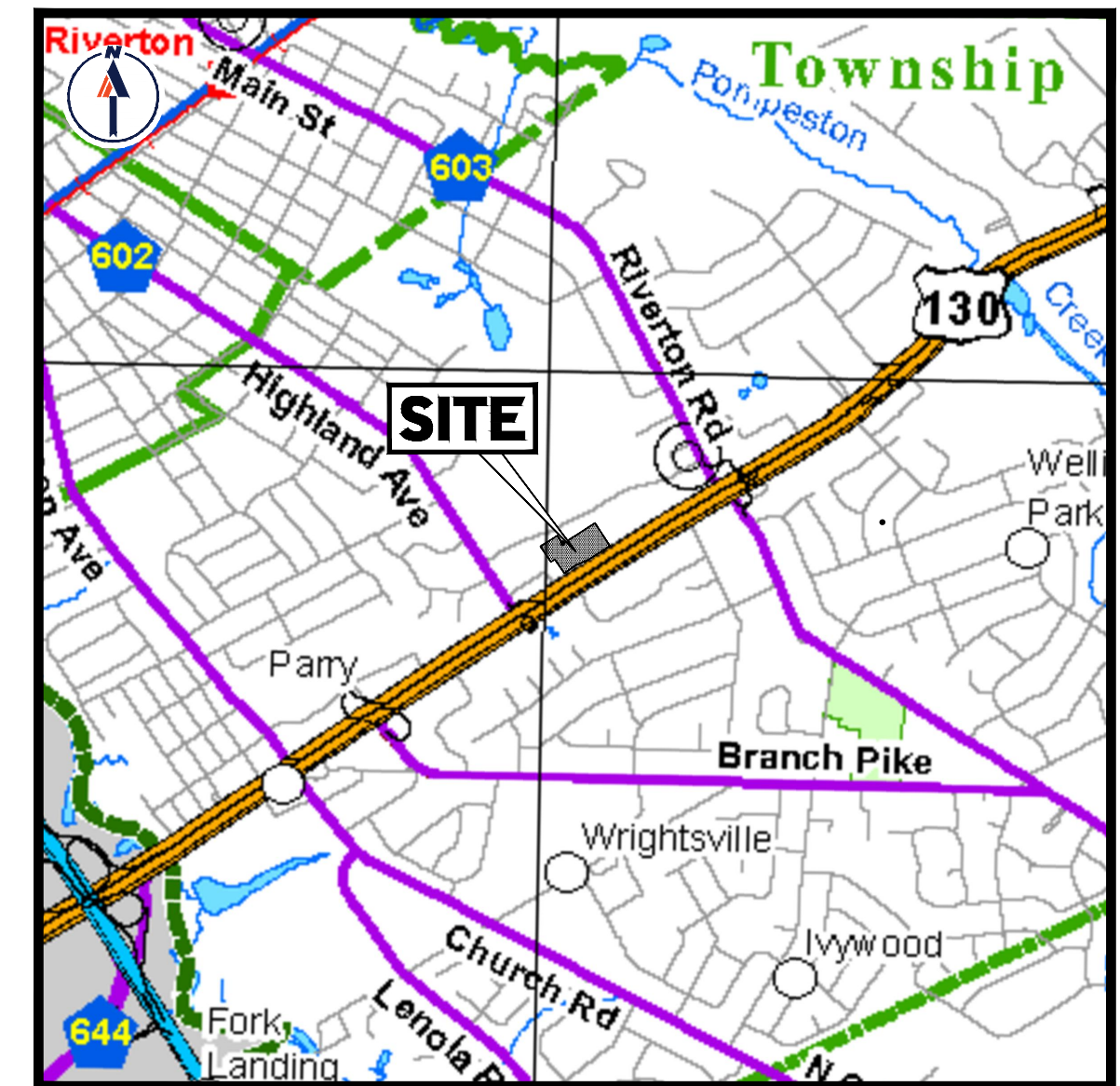
TOWNSHIP OF CINNAMINSON

BURLINGTON COUNTY, NEW JERSEY



**USGS MAP**

SCALE: 1" = 1,000'  
SOURCE: U.S. GEOLOGICAL SURVEY



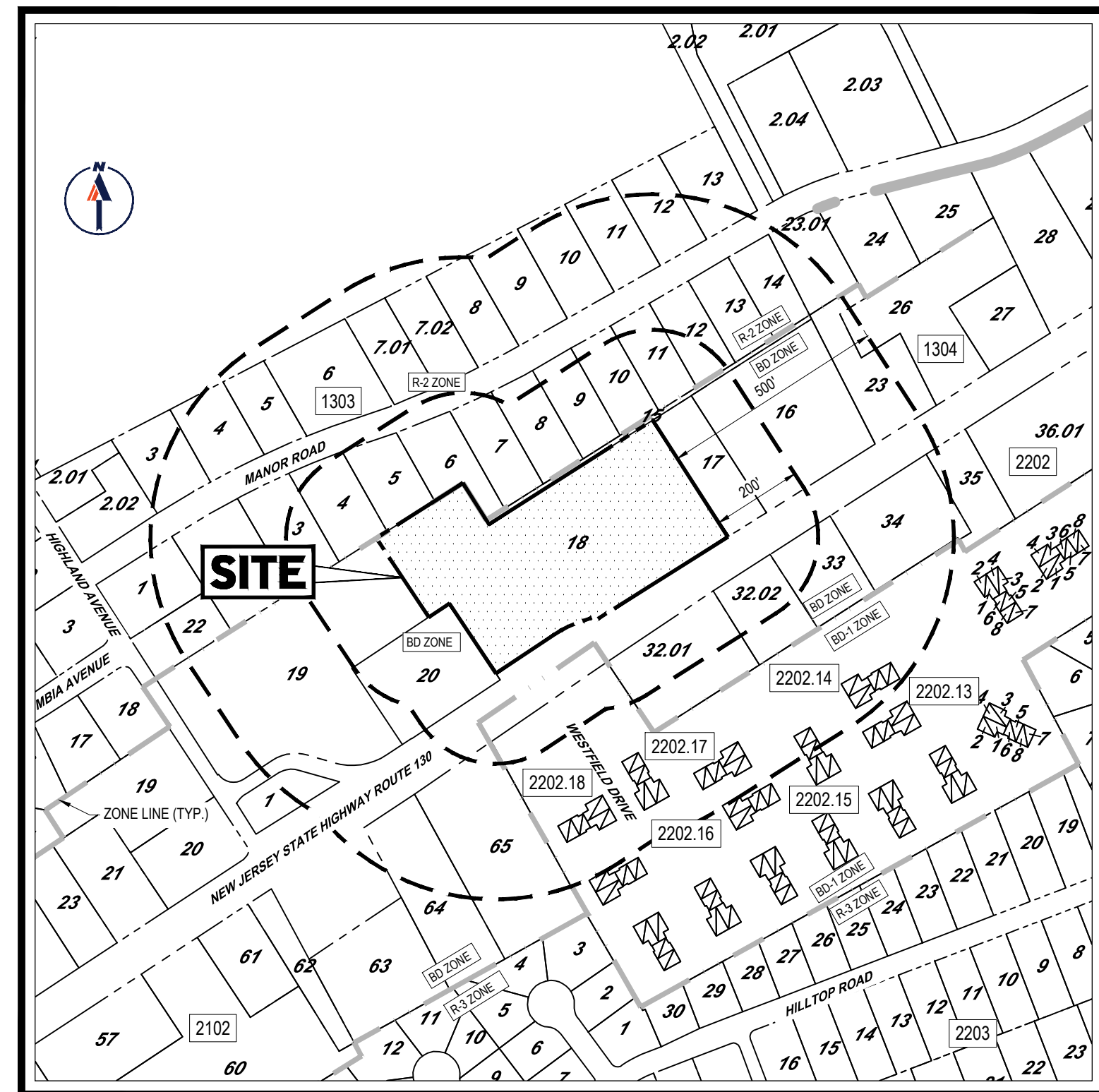
**KEY MAP**

SCALE: 1" = 2,000'  
SOURCE: NJDOT COUNTY MAPS

**PROPERTY OWNERS LIST**

WITHIN 200' RADIUS  
(PROPERTY OWNERS LIST PROVIDED BY CINNAMINSON TOWNSHIP ON 03/24/2021)

BLOCK	LOT	OWNER	BLOCK	LOT	OWNER
1304	1	SMER, RONALD J & MELISSA D 501 MANOR RD CINNAMINSON, NJ 08077	2102	62	MELCHIORRE, JOHN A & PATRICIA A L/E 5 VICTORIA CT MT LAUREL, NJ 08054
1304	2	STEIN, PAUL R & BARBARA A 501 MANOR RD CINNAMINSON, NJ 08077	2102	63	MELISSO PROPERTIES LLC 104 RTE 130 W SUITE 110 CINNAMINSON, NJ 08077
1304	3	GOBEL, MICHAEL 501 MANOR RD CINNAMINSON, NJ 08077	2102	64.01	DELANCO FIDEL SVN/ST BANK 1350 CARROLLWOOD-ROBINSON ROBINSONVILLE, NJ 08891
1304	4	CROWDER, RENE/THOS W ABE TR 1411 501 MANOR RD CINNAMINSON, NJ 08077	2202	31	METFIELD LEAS CONDO ASSN, INC PO BOX 3170 CHERRY HILL, NJ 08034
1304	5	MULLISAN, PETER & VICTORIA 603 MANOR RD CINNAMINSON, NJ 08077	2202	32.01	600 RT 130 CINNAMINSON HOLDING COMP 211 VALLEY SPRING RD CINNAMINSON, NJ 08077
1304	6	BROGGIN, JOANNE & GILL, ELIZABETH 603 MANOR RD CINNAMINSON, NJ 08077	2202	32.02	RELO MARINES, LLC 2 THORNTON RD CHERRY HILL, NJ 08003
1304	7	SEAFIC, MERIS & SARINA 603 MANOR RD CINNAMINSON, NJ 08077	2202	33 C101	CHR. JONAS S OFR 101 TRUST 700 RTE 130 SUITE 101 CINNAMINSON, NJ 08077
1304	8	DASTIYA, JOAO R 1384 CINNAMINSON AVE CINNAMINSON, NJ 08077	2202	33 C102	LINDAY, MATTHEW P & LINDA W 14 LEHAFE CT MT LAUREL, NJ 08054
1304	9	CORRAN, WALTER F & DANGLER, MELISSA 603 MANOR RD CINNAMINSON, NJ 08077	2202	33 C103	S W S PROPERTY MANAGEMENT, LLC 210 LINDEN AVE CINNAMINSON, NJ 08077
1304	10	CHARNICKO, FERDINO 701 MANOR ST CINNAMINSON, NJ 08077	2202	33 C104	MOON 4 CLEMON RD CHERRY HILL, NJ 08034
1304	11	BOCKMAY WICK FIRST AID ROAD PO BOX 41 MOUNTAIN, NJ 07034	2202	33 C105	MOON 4 CLEMON RD CHERRY HILL, NJ 08034
1304	12	WARD, HARRY T & DONOVY D 701 MANOR RD CINNAMINSON, NJ 08077	2202	33 C108	LAMON, DONN ACIN PROP PLAZA 700 RTE 130 CINNAMINSON, NJ 08077
1304	13	FRIGILLO, FELICIA J 701 MANOR RD CINNAMINSON, NJ 08077	2202	33 C109	FRANKFORD AVE 9 WYDE CT HAMILTON, NJ 08053
1304	14	ADAMS, JOSEF & RANERI, DARRAN B 701 MANOR RD CINNAMINSON, NJ 08077	2202	33 C201	MESS REAL ESTATE 2213 CHERRY RD CINNAMINSON, NJ 08077
1304	15	CINNAMINSON TWP 1421 RIVERTON RD CINNAMINSON, NJ 08077	2202	33 C202	KIM, OYOUNG 2 SOUTHWOOD DR CHERRY HILL, NJ 08003
1304	16	JC TAYLOR 320 S 64TH ST OFFICE BLDG, PA CINNAMINSON, NJ 08077	2202	33 C203	MESS REAL ESTATE 2213 CHERRY RD CINNAMINSON, NJ 08077
1304	17	TRAFALGAR CAPITAL BLY 602 RTE 130 CINNAMINSON, NJ 08077	2202	33 C204	KIM, OYOUNG 2 SOUTHWOOD DR CHERRY HILL, NJ 08003
1304	22	FAHERMAN, ANDREA L 1102 HIGHLAND AVE CINNAMINSON, NJ 08077	2202	33 C205	MANDAUR DYNAMIC SOLUTIONS CORP 700 ROUTE 130 W STE 205 CINNAMINSON, NJ 08077
1402	3	GALLIVAN, JOHN & ANEXO 1300 COLUMBIA AVE CINNAMINSON, NJ 08077	2202	33 C206	KIM, OYOUNG 2 SOUTHWOOD DR CHERRY HILL, NJ 08003
1402	4	YEARTY, CHEVIE M 1700 COLUMBIA AVE CINNAMINSON, NJ 08077	2202	33 C207	GILES, GRAY A 438 MAIN ST RIVERTON, NJ 08077
1403	17	MATTHEWS, RICHARD C III & DONNA L 1103 HIGHLAND AVE CINNAMINSON, NJ 08077	2202	33 C208	LAMON, DONN C 700 N RTE 130 CINNAMINSON, NJ 08077
1403	18	MOSLEY, ROSABETH & KEVIN 1103 HIGHLAND AVE CINNAMINSON, NJ 08077	2202	33 C209	ANDER PROFESSIONAL PLAZA LLC 850 GLEN AVE PO BOX 192 MOORESTOWN, NJ 08057
1403	19	1103 HIGHLAND AVE CINNAMINSON, NJ 08077	2202	33 C210	LAMON, DONN C 700 N RTE 130 CINNAMINSON, NJ 08077
1403	20	ANON TRADING CO 919 E 102ND ST BROOKLYN, NY 11236	2202	33 C211	ANDER PROFESSIONAL PLAZA LLC 850 GLEN AVE PO BOX 192 MOORESTOWN, NJ 08057
2102	55.01	CSH SIENA LLC & CONSERVIVE CONSERVIVE PO BOX 4697 LOOMIS, VT 04357	2202	33 C212	LAMON, DONN C 700 N RTE 130 CINNAMINSON, NJ 08077



**TAX MAP**

SCALE: 1" = 300'  
SOURCE: GIS PARCEL DATA MAPS



**AERIAL MAP**

SCALE: 1" = 300'  
SOURCE: NJGIN INFORMATION WAREHOUSE

NOTE:  
1) STANDARD NEW JERSEY DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OF 2019 WITH AMENDMENTS THERETO TO GOVERN.  
2) STANDARD ROADWAY CONSTRUCTION/TRAFFIC CONTROL/BRIDGE CONSTRUCTION DETAILS BOOKLET, 2016, AND STANDARD ELECTRICAL DETAIL BOOKLET, 2007, ARE APPLICABLE TO THIS PROJECT EXCEPT FOR THOSE DETAILS CONTAINED HEREIN.

PREPARED BY



**OWNER CERTIFICATION**

I CERTIFY THAT I AM THE OWNER OF BLOCK 1304 LOT 18 AND CONSENT TO THE FILING OF THE APPLICATION.  
OWNER: [Signature] DATE: 4/28/21

**DRAWING SHEET INDEX**

SHEET TITLE	NUMBER
COVER SHEET	C-101
NOTES AND REFERENCES SHEET	C-102
DEMOLITION PLAN	C-201
OVERALL SITE LAYOUT PLAN	C-301
SITE LAYOUT PLAN	C-302
GRADING PLAN	C-401
DRAINAGE AND UTILITIES PLAN	C-501
SOIL EROSION & SEDIMENT CONTROL PLAN	C-601
SOIL EROSION & SEDIMENT CONTROL DETAILS	C-602
LANDSCAPE PLAN	C-701
LANDSCAPE NOTES & DETAILS	C-702
LIGHTING PLAN	C-703
LIGHTING NOTES & DETAILS	C-704
SANITARY PROFILE	C-801
DETAIL SHEET	C-901 - C-905
WB-40 TRUCK TURN EXHIBIT	1 OF 1
BOUNDARY & TOPOGRAPHIC SURVEY (BY OTHERS)	1 OF 1

**APPROVAL BLOCK**

TOWNSHIP OF CINNAMINSON BOARD APPROVAL  
APPROVED BY THE PLANNING BOARD  
OF THE TOWNSHIP OF CINNAMINSON, NJ.

BOARD CHAIRMAN	DATE
BOARD SECRETARY	DATE
BOARD ENGINEER	DATE

**COUNTY APPROVAL BLOCK**

BURLINGTON COUNTY BOARD APPROVAL

BOARD CHAIRMAN	DATE
----------------	------

**BOHLER**  
SITE CIVIL AND CONSULTING ENGINEERING  
PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY

**811**  
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Call before you dig.  
NEW JERSEY  
YOU MUST CALL 811 BEFORE ANY EXCAVATION  
WHETHER IT'S ON PRIVATE OR PUBLIC LAND.  
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ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: J200460  
DRAWN BY: CRJ/F  
CHECKED BY: BC  
DATE: 05/03/2021  
CAD ID: J200460-CDS-0A

PROJECT:  
**PRELIMINARY AND FINAL MAJOR SITE PLAN & MINOR SUBDIVISION PLAN**  
FOR  
**CSW AS VI CINNAMINSON URBAN RENEWAL L.P. C/O WESTRUM DEVELOPMENT COMPANY**  
PROPOSED SENIOR LIVING FACILITY  
MAP: 13 | BLK: 1304 | EXISTING LOT: 18  
PROPOSED LOTS: 18.01 & 18.02  
605 N.J.S.H. ROUTE 130  
TOWNSHIP OF CINNAMINSON  
BURLINGTON COUNTY, NEW JERSEY

**BOHLER**  
BOHLER ENGINEERING NJ, LLC  
30 INDEPENDENCE BLVD., SUITE 200  
WARREN, NJ 07059  
Phone: (908) 685-6300  
Fax: (908) 754-4401  
www.BohlerEngineering.com  
NJ CERT. OF AUTHORIZATION NO. 246A28161700 & M6000122

**B.S. CROWDER**  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE NO. 52262  
PENNSYLVANIA LICENSE NO. 085764  
NEW YORK LICENSE NO. 100602

SHEET TITLE:  
**COVER SHEET**  
SHEET NUMBER:  
**C-101**  
ORG. DATE - 05/03/2021

C:\2021\20210506\DRAWINGS\CURRENT DRAWINGS\SITE PLAN PACKAGE\00460-CDS-0A...LAYOUT: C-101 COVER



1. THESE PLANS ARE SOLELY BASED ON INFORMATION THE OWNER AND OTHERS PROVIDED TO BOHLER ENGINEERING, N.J. LLC (HEREIN "BOHLER") PRIOR TO THE DATE ON WHICH THE ENGINEER OF RECORD OR BOHLER PREPARED THESE PLANS. THE CONTRACTOR MUST VERIFY ALL CONDITIONS AND IMMEDIATELY NOTIFY BOHLER, IN WRITING, IF ANY ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THESE PLANS. OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES.

1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH ALL SPECIFICATIONS CONTAINED HEREIN. THE CONTRACTOR MUST ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS, THESE NOTES, AND THE REQUIREMENTS ARTICULATED IN THE NOTES CONTAINED IN ALL THE OTHER DRAWINGS THAT COMPRISE THE PLAN SET OF DRAWINGS. ADDITIONAL NOTES AND SPECIFICATIONS MAY BE FOUND ON THE INDIVIDUAL PLAN SHEETS OF THIS GENERAL NOTES AND THE CONTRACT PACKAGE.

1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH ALL SPECIFICATIONS CONTAINED HEREIN. THE CONTRACTOR MUST ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS, THESE NOTES, AND THE REQUIREMENTS ARTICULATED IN THE NOTES CONTAINED IN ALL THE OTHER DRAWINGS THAT COMPRISE THE PLAN SET OF DRAWINGS.

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Table with 4 columns: REV, DATE, COMMENT, DRAWN BY. Includes revision history for drawings J200460, J200460-02, and J200460-03.

ACCESSIBILITY DESIGN GUIDELINES (Rev. 1/2020)

1. ALL ACCESSIBLE (A.K.A. ADA) COMPONENTS AND ACCESSIBLE ROUTES MUST BE CONSTRUCTED TO MEET A 1/20 (1:12) OR THE MORE STRINGENT OF (A) THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) CODE (42 U.S.C. 11911 ET SEQ.) AND 28 C.F.R. 41.41 ET SEQ., AND (B) ANY APPLICABLE LOCAL AND STATE GUIDELINES, AND ANY AND ALL AMENDMENTS TO BOTH, WHICH IS IN EFFECT WHEN THESE PLANS WERE COMPLETED.

LIGHTING NOTES (Rev. 1/2020)

1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH ALL SPECIFICATIONS CONTAINED HEREIN. THE CONTRACTOR MUST ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS, THESE NOTES, AND THE REQUIREMENTS ARTICULATED IN THE NOTES CONTAINED IN ALL THE OTHER DRAWINGS THAT COMPRISE THE PLAN SET OF DRAWINGS.

UNDERGROUND DETENTION BASIN MAINTENANCE NOTES (6010002-03/12/21)

- 1. STONE SUPPLIER FOR 2'-12" CRUSHED STONE IN U.G. DETENTION BASIN TO CERTIFY THAT A VOID RATE OF 40% WILL BE PROVIDED BY THE 2'-12" STONE.

ABOVE GROUND DETENTION BASIN MAINTENANCE NOTES (6010001-03/12/21)

- 1. STORM WATER MANAGEMENT FACILITIES SHALL BE REGULARLY MAINTAINED TO INSURE THEY FUNCTION AT DESIGN CAPACITY AND TO PREVENT HEALTH HAZARDS ASSOCIATED WITH DEBRIS BUILDUP AND STAGNANT WATER.

INFILTRATION/DETENTION BASIN PERMEABILITY TESTING REQUIREMENTS (Rev. 1/2020)

AFTER THE INFILTRATION DETENTION BASIN SUBGRADE HAS BEEN ESTABLISHED AND AFTER THE FINISHED GRADE HAS BEEN ESTABLISHED THE INFILTRATION DETENTION BASIN POST CONSTRUCTION FIELD PERMEABILITY TESTS SHALL BE CONDUCTED. THE FIELD PERMEABILITY TESTS SHALL BE CONDUCTED USING THE METHODOLOGIES PROVIDED IN THIS NOTE. PERMEABILITY TESTS SHALL BE CONDUCTED BY THE GEOTECHNICAL ENGINEER OF RECORD OR HIS REPRESENTATIVE WITHIN THE FOOTPRINT OF THE PROPOSED INFILTRATION DETENTION BASIN TO DETERMINE THE SUITABILITY OF THE INFILTRATION BASIN TO ACCEPT WATER TO BE STORED IN THE SUBSTRUM TO BE LEFT IN PLACE BELOW THE BASIN WITHIN TWO (2) FEET OF THE DESIGN DRAINAGE LINE.

SANITARY SEWER SERVICE NOTE (Rev. 1/2020)

CONTRACTOR TO LOCATE AND UTILIZE EXISTING SEWER SERVICE CONNECTION IF FEASIBLE. OTHERWISE REMOVE EXISTING SEWER SERVICE LINE CAP AT MAIN IN R.O.W. IN ACCORDANCE WITH LOCAL GAS COMPANY REQUIREMENTS. TERMINATION AT THE MAIN MUST BE APPROVED BY LOCAL GAS COMPANY PRIOR TO COMPLETION. ANY NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH LOCAL GAS COMPANY. CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.

WATER SERVICE NOTE (Rev. 1/2020)

CONTRACTOR TO LOCATE AND UTILIZE EXISTING WATER SERVICE CONNECTION IF FEASIBLE. OTHERWISE REMOVE EXISTING WATER SERVICE LINE CAP AT MAIN IN R.O.W. IN ACCORDANCE WITH LOCAL WATER SERVICE AUTHORITY REQUIREMENTS. TERMINATION AT THE MAIN MUST BE APPROVED BY LOCAL WATER SERVICE AUTHORITY PRIOR TO COMPLETION. ANY NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH LOCAL WATER SERVICE AUTHORITY. CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.

REFERENCES AND CONTACTS

- BOUNDARY & TOPOGRAPHIC SURVEY: BOHLER ENGINEERING N.J. LLC, 305 FELLOWSHIP ROAD - SUITE 210, MT LAUREL, NJ 08054
- PROPERTY RECORDS: NEW JERSEY PUBLIC ACCESS TO REAL ESTATE RECORDS (NJ-PARCEL), 180-272-1000
- UTILITY RECORDS: NEW JERSEY PUBLIC ACCESS TO REAL ESTATE RECORDS (NJ-PARCEL), 180-272-1000

GOVERNING AGENCIES

- PLANNING BOARD: PATRICKA RUCCI - SECRETARY, 1621 RIVERTON ROAD, WARREN, NJ 07077
- CONSTRUCTION DEPARTMENT: TORNY DE JACONTO - TOWNSHIP ENGINEER, 1621 RIVERTON ROAD, WARREN, NJ 07077
- NEW JERSEY FIRE DEPARTMENT: KEVIN GANNIN - SUPERINTENDENT, 1621 RIVERTON ROAD, WARREN, NJ 07077

NOTES AND REFERENCES SHEET

THE ABOVE REFERENCED DOCUMENTS ARE SUBJECT TO THE GENERAL NOTES AND THE CONTRACT DOCUMENTS. THESE PLANS, HOWEVER, BOHLER ENGINEERING DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.



BLOCK 1304  
LOT 4  
N/F LANDS OF  
KIMBERLY MANCINI &  
KRISTINE PAINTER  
D.B. 13107, PG. 11

BLOCK 1304  
LOT 5  
N/F LANDS OF  
PETER & VICTORIA MULLIGAN  
D.B. 5463, PG. 173

BLOCK 1304  
LOT 6  
N/F LANDS OF  
JOANNE BRODZIK &  
ELIZABETH GILL  
D.B. 6339, PG. 476

BLOCK 1304  
LOT 7  
N/F LANDS OF  
MURIS & SABRINA DZAFIC  
D.B. 6717, PG. 582

BLOCK 1304  
LOT 8  
N/F LANDS OF  
ANGELITO PIERRE  
D.B. 13170, PG. 2303

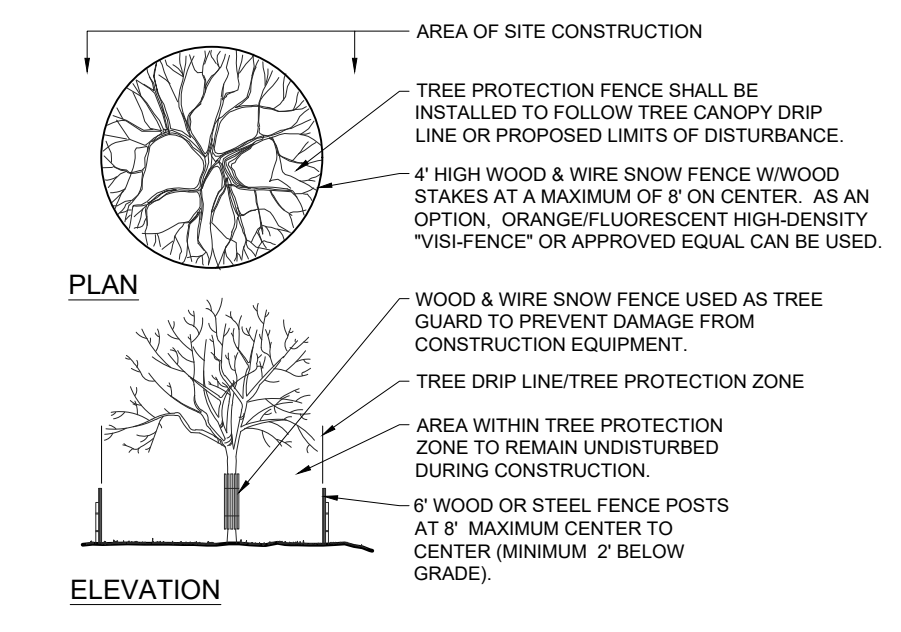
BLOCK 1304  
LOT 9  
N/F LANDS OF  
WALTER F. CURRAN  
& MELISSA DANGLER  
D.B. 13095, PG. 5227

BLOCK 1304  
LOT 10  
N/F LANDS OF  
STEFANO CAPOSECCO  
D.B. 6530, PG. 724

BLOCK 1304  
LOT 11  
N/F LANDS OF  
ANTHONY C. JR. & KAREN  
SPERDUTO  
D.B. 6292, PG. 439

### 1 TREE PROTECTION DURING SITE CONSTRUCTION DETAIL

NOT TO SCALE (0039909-4/2017)



### REVISIONS

REV	DATE	COMMENT	DRAWN BY



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PROJECT No.: J200460  
DRAWN BY: CRJ/JF  
CHECKED BY: BC  
DATE: 05/03/2021  
CAD ID: J200460-SPP-0A

PROJECT:  
**PRELIMINARY AND FINAL MAJOR SITE PLAN & MINOR SUBDIVISION PLAN**  
FOR  
**CSW AS VI CINNAMINSON URBAN RENEWAL L.P. C/O WESTRUM DEVELOPMENT COMPANY**  
PROPOSED SENIOR LIVING FACILITY  
MAP: 13 | BLK: 1304 | EXISTING LOT: 18  
PROPOSED LOTS: 18.01 & 18.02  
605 N.J.S.H. ROUTE 130  
TOWNSHIP OF CINNAMINSON  
BURLINGTON COUNTY, NEW JERSEY

**BOHLER**  
BOHLER ENGINEERING NJ, LLC  
30 INDEPENDENCE BLVD., SUITE 200  
WARREN, NJ 07059  
Phone: (908) 668-8300  
Fax: (908) 764-4401  
www.BohlerEngineering.com  
NJ CERT. OF AUTHORIZATION NO. 246A28161700 & M6000122

**B.S. CROWDER**  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE No. 52269  
PENNSYLVANIA LICENSE No. 088764  
NEW YORK LICENSE No. 100602

SHEET TITLE:  
**DEMOLITION PLAN**  
SHEET NUMBER:  
**C-201**  
ORG. DATE - 05/03/2021

## NEW JERSEY STATE HIGHWAY U.S. ROUTE NO. 130

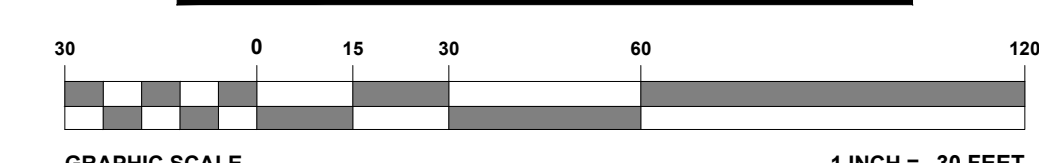
(ASPHALT ROADWAY)  
(85' WIDE)  
(50 MPH POSTED SPEED LIMIT)

**ALL EXISTING ON-SITE FEATURES WITHIN THE LIMIT OF DISTURBANCE ARE TO BE REMOVED UNLESS OTHERWISE NOTED.**  
**ALL EXISTING FEATURES OUTSIDE LIMIT OF DISTURBANCE ARE TO REMAIN UNLESS OTHERWISE NOTED.**

**REFER TO SOIL EROSION AND SEDIMENT CONTROL PLAN FOR SOIL EROSION NOTES AND MEASURES.**  
**REFER TO NOTES AND REFERENCES SHEET FOR ADDITIONAL NOTES, REFERENCES AND SPECIFICATIONS.**  
**T.B.R. = FEATURE TO BE REMOVED**

**ALL EXISTING FEATURES IN R.O.W. ARE TO REMAIN UNLESS OTHERWISE NOTED**

**THIS PLAN TO BE UTILIZED FOR DEMOLITION PURPOSES ONLY**





**ZONING NOTES**

- PER REDEVELOPMENT PLANS SECTION IV.B.7.c. IN ANY EVENT, EACH USE SHALL PROVIDE A SUFFICIENT NUMBER OF SPACES IN APPROPRIATE LOCATIONS SO THAT NO DRIVEWAYS, AISLE, FIRE LANE OR STREET RIGHT-OF-WAY IS USED AT ANY TIME FOR PARKING. **COMPLIES**
- PER REDEVELOPMENT PLANS SECTION IV.B.8.b. THERE SHALL BE AT LEAST ONE TRASH AND GARBAGE PICKUP LOCATION PROVIDED BY EACH BUILDING UNLESS PROVIDED INTERNALLY WITHIN BUILDING. **COMPLIES**
- PER REDEVELOPMENT PLANS SECTION IV.B.8.c. TRASH AND GARBAGE CONTAINERS, INCLUDING DUMPSTERS, SHALL NOT BE STORED IN LOADING AREAS OR OTHER DESIGNATED AREAS UNLESS SHOWN ON THE SITE PLAN. **COMPLIES**
- PER REDEVELOPMENT PLANS SECTION IV.B.8.d. ALL OFF-STREET LOADING AREAS SHALL BE LIGHTED. **COMPLIES**

PARKING REQUIREMENTS				
ITEM	CODE	PERMITTED	PROPOSED LOT 18.01 (TOWNSHIP RETAINED)	PROPOSED LOT 18.02 (WESTRUM)
MIN. STALL SIZE	§ 525-110 B. 2. (A)	9' x 18'	9' x 18'	9' x 18'
MIN. AISLE WIDTH	§ 525-110 B. 2. (F)	25' <sup>(1)</sup>	25'	25' (TRUCK CIRCULATION)
MAX. SIDE YARD SEPARATION	REDEVELOPMENT PLAN	0' BETWEEN DRIVEWAYS AND PARKING AREAS ON THE LIDL, FRIENDLY'S, AND WESTRUM LOTS.	0'	0'
LOADING REQUIREMENTS	REDEVELOPMENT PLAN	1 LOADING AREA FOR THE SENIOR LIVING COMMUNITY	TBD	1 LOADING SPACE
MIN. LOADING SIZE	REDEVELOPMENT PLAN	11' X 40'	N/A	42.8' X 41.9'
MIN. NUMBER OF STALLS	REDEVELOPMENT PLAN	71 SPACES <sup>(2)</sup> (0.5 SPACES PER UNIT)	14 SPACES <sup>(3)</sup>	102 SPACES <sup>(3)</sup>
ADA STALL QUANTITY	2010 ADA STANDARDS	WESTRUM: 100 SPACES, REQUIRES 4 ADA SPACES (1 VAN ACCESSIBLE)	0 ADA SPACES <sup>(4)</sup>	5 ADA SPACES (INCLUDING 1 VAN SPACE)

REDEVELOPMENT NOTE:  
 ALL REFERENCES MADE TO THE 'REDEVELOPMENT PLAN NOTED IN THE ZONING COMPLIANCE TABLES ON THIS PLAN ARE BASED ON THE 'REDEVELOPMENT PLAN FOR CINNAMINSON TOWNSHIP, BLOCK 1304 LOTS 18-20, BLOCK 1395 LOT 1' PREPARED BY ENVIRONMENTAL RESOLUTIONS, INC. LAST AMENDED 11/17/2020.

FREESTANDING SIGNS		
ITEM	CODE	PERMITTED/PROPOSED
MAX. NUMBER OF SIGNS	REDEVELOPMENT PLAN	ROUTE 130 - ONE (1) MONUMENT SIGN INTERNAL MONUMENT SIGN: ONE (1) INTERNAL MONUMENT SIGN FOR THE SENIOR LIVING COMMUNITY (*)
MAX. SIGN AREA	REDEVELOPMENT PLAN	HIGHLAND AVENUE: ONE (1) MONUMENT SIGN FOR THE SHARED HIGHLAND AVENUE ACCESS ON THE GROCERY STORE LOT (**) ROUTE 130 MONUMENT SIGN: 25 SF INTERNAL MONUMENT SIGN: 10 SF HIGHLAND AVENUE MONUMENT SIGN: 15 SF
MIN. SIGN SETBACK	§ 525-121 C. (6)	ROUTE 130 MONUMENT SIGN: 3' INTERNAL MONUMENT SIGN: N/A HIGHLAND AVENUE MONUMENT SIGN: 15'
MAX. HEIGHT ABOVE GRADE	REDEVELOPMENT PLAN	ROUTE 130 MONUMENT SIGN: 10' INTERNAL MONUMENT SIGN: 6' HIGHLAND AVE MONUMENT SIGN: 10'

**PARKING LEGEND**

- PROP. PARKING SPACES FOR SENIOR LIVING FACILITY
- PARKING SPACES TO BE CONSTRUCTED BY APPLICANT ON TOWNSHIP RETAINED LAND

**PAVEMENT LEGEND**

- PROPOSED CONCRETE
- PROPOSED POROUS ASPHALT PAVEMENT
- PROPOSED HEAVY DUTY PAVEMENT

**BUILDING AREA SUMMARY TABLE**

FLOOR	AREA
FIRST FLOOR	53,414 SF
SECOND FLOOR	47,380 SF
THIRD FLOOR	43,045 SF
FOURTH FLOOR	43,045 SF
TOTAL	186,884 SF

THIS INFORMATION IS PER ARBOUR SQUARE CINNAMINSON PLANS PREPARED BY J. RANDOLPH PARRY ARCHITECTS, PC DATED 04/23/2021

ZONING TABLE						
ZONE: 60 (BUSINESS DEVELOPMENT DISTRICT) & REDEVELOPMENT PLAN (USE: SENIOR LIVING COMMUNITY (PERMITTED USE)) BLOCK 1304, LOT 18						
APPLICANT / OWNER INFORMATION						
APPLICANT:	CSW AS VI CINNAMINSON URBAN RENEWAL, L.P. C/O WESTRUM DEVELOPMENT COMPANY 1300 VIRGINIA DRIVE, SUITE 215 FORT WASHINGTON, PA 19034					
PROPERTY OWNER:	BLOCK 1304 LOT 18 TOWNSHIP OF CINNAMINSON 1621 RIVERTON ROAD CINNAMINSON, NJ 08077					
BULK REQUIREMENTS						
ITEM	CODE	PERMITTED	EXISTING LOT 18	PROPOSED LOT 18.01 (TOWNSHIP RETAINED)	PROPOSED LOT 18.02 (WESTRUM)	
MIN. LOT AREA	REDEVELOPMENT PLAN	40,000 SF	±213,737 SF (±4.907 AC.)	57,521 SF (1.320 AC)	156,216 SF (3.587 AC)	
MIN. LOT WIDTH	REDEVELOPMENT PLAN	200'	628.3'	59.7' (V)	433.6'	
MIN. FRONT YARD	REDEVELOPMENT PLAN	20'	42.6'	N/A	20.2'	
MIN. PRINCIPAL BUILDING SIDE YARD	REDEVELOPMENT PLAN	60'	134.7'	N/A	40.4' (V) (NEW LOT LINE)	
MIN. ACCESSORY USE FROM PROPERTY LINE	§ 525-66.G	20'	NA	N/A	10.5' (V)	
MIN. REAR YARD	REDEVELOPMENT PLAN	25'	212.1'	N/A	28.1'	
MIN. SIDE YARD SEPARATION	REDEVELOPMENT PLAN	0' BETWEEN DRIVEWAYS AND PARKING AREAS ON LIDL & FRIENDLY'S LOT	NA	0'	0'	
MAX. BUILDING HEIGHT	REDEVELOPMENT PLAN	45'	< 45'	N/A	< 45'	
MAX. NUMBER OF STORIES	REDEVELOPMENT PLAN	3 STORIES	1	N/A	3 STORIES	
MIN. SETBACK FROM RESIDENTIAL *	REDEVELOPMENT PLAN	35'	212.1'	N/A	38.1'	
MIN. SETBACK TO PAVED SURFACE FROM RESIDENTIAL *	REDEVELOPMENT PLAN	15'	157.8'	94.2'	25.7'	
MAX. BUILDING COVERAGE	REDEVELOPMENT PLAN	35%	0.72% (1,537 SF)	N/A	34.7% (54,219 SF)	
IMPERVIOUS COVERAGE	REDEVELOPMENT PLAN	65%	3.2% (6,854 SF)	12.3% (7,083 SF)	63.8% (99,645 SF)	

KEY: (E) = EXISTING NON-COMPLIANCE  
(V) = VARIANCE  
NA = NOT APPLICABLE

\*PER THE REDEVELOPMENT PLAN, THE SETBACK MAY INCLUDE THE EXISTING 10' WIDE STRIP OF LAND IN THE REAR PROPERTY BETWEEN THE SUBJECT LOT AND THE RESIDENTIAL PROPERTIES.

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PROJECT NO.: J200460  
 DRAWN BY: CR/JF  
 CHECKED BY: BC  
 DATE: 05/03/2021  
 CAD ID: J200460-SPF-0A

PROJECT:  
**PRELIMINARY AND FINAL MAJOR SITE PLAN & MINOR SUBDIVISION PLAN**  
 FOR  
**CSW AS VI CINNAMINSON URBAN RENEWAL L.P. C/O WESTRUM DEVELOPMENT COMPANY**  
 PROPOSED SENIOR LIVING FACILITY  
 MAP: 13 | BLK: 1304 | EXISTING LOT: 18  
 PROPOSED LOTS: 18.01 & 18.02  
 605 N.J.S.H. ROUTE 130  
 TOWNSHIP OF CINNAMINSON  
 BURLINGTON COUNTY, NEW JERSEY

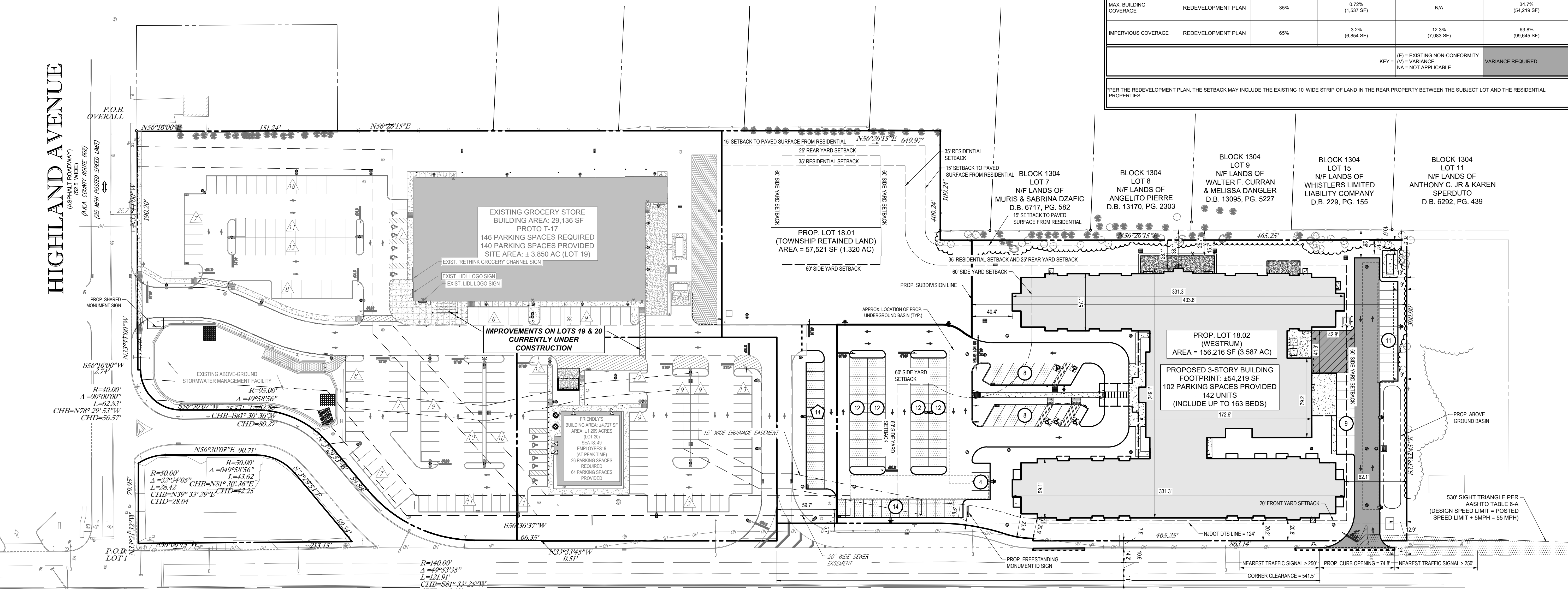
**BOHLER**  
 BOHLER ENGINEERING NJ, LLC  
 30 INDEPENDENCE BLVD., SUITE 200  
 WARREN, NJ 07059  
 Phone: (908) 665-6300  
 Fax: (908) 754-4401  
 www.BohlerEngineering.com  
 NJ CERT. OF AUTHORIZATION NO. 246A28191700 & M46000122

**B.S. CROWDER**  
 PROFESSIONAL ENGINEER  
 NEW JERSEY LICENSE NO. 52269  
 PENNSYLVANIA LICENSE NO. 086764  
 NEW YORK LICENSE NO. 100602

SHEET TITLE:  
**OVERALL SITE LAYOUT PLAN**

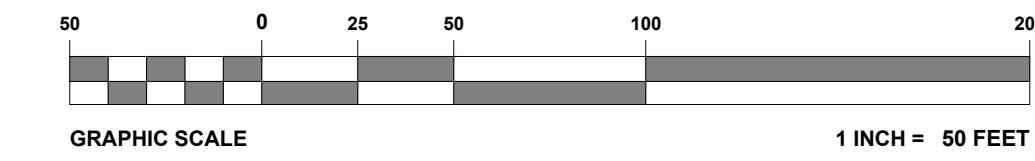
SHEET NUMBER:  
**C-301**

ORG. DATE - 05/03/2021



**NEW JERSEY STATE HIGHWAY U.S. ROUTE NO. 130**

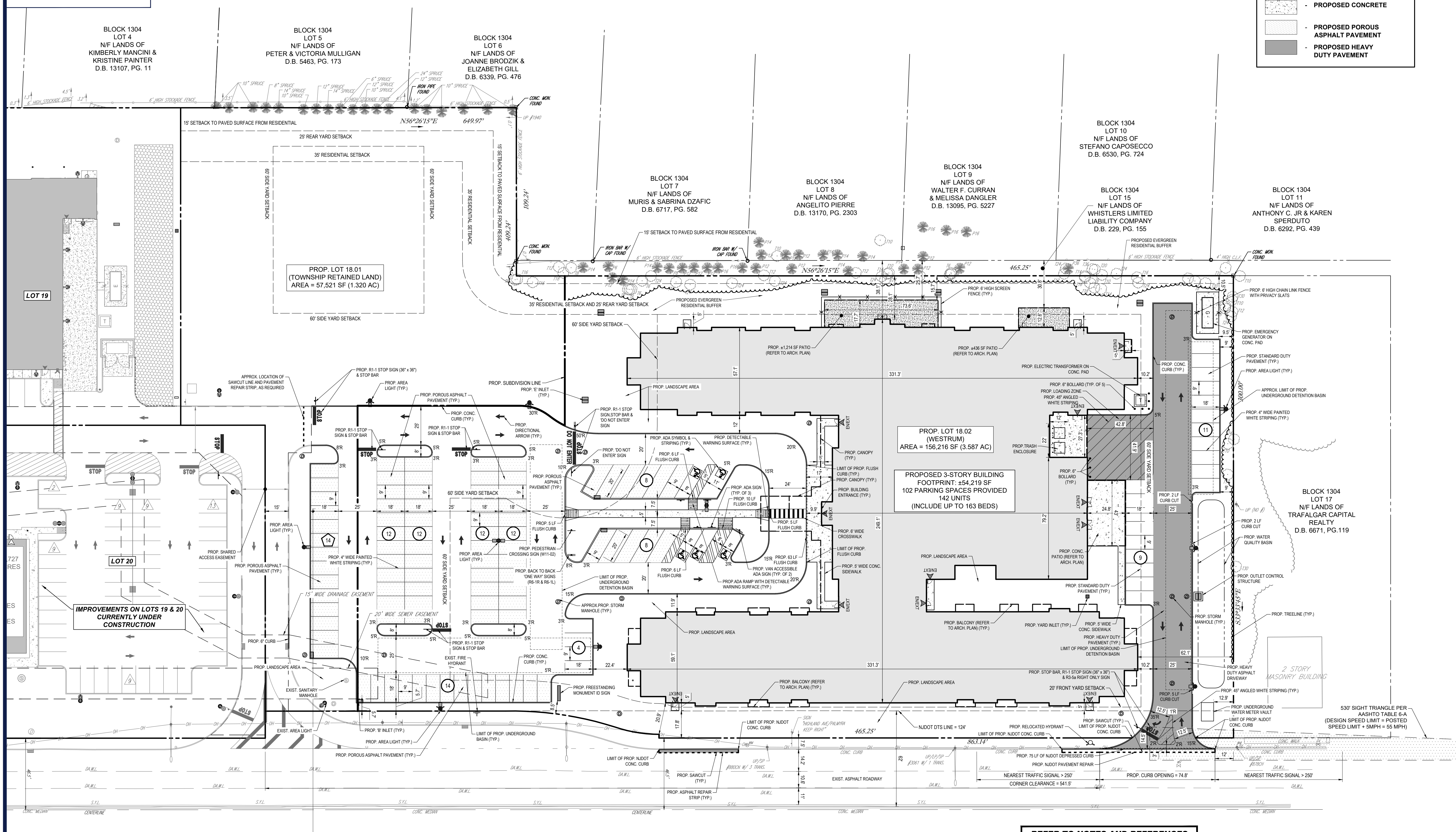
(ASPHALT ROADWAY) (83' WIDE)  
 (50 MPH POSTED SPEED LIMIT)  
 (N.J.D.O.T. JURISDICTION)



G:\2021\20460\DRAWINGS\CURRENT DRAWINGS\SITE PLAN PACKAGE\020460-SPF-0A...LAYOUT: C-301.DWG



- PARKING LEGEND**
- PROP. PARKING SPACES FOR SENIOR LIVING FACILITY
  - PARKING SPACES TO BE CONSTRUCTED BY APPLICANT ON TOWNSHIP RETAINED LAND
- PAVEMENT LEGEND**
- PROPOSED CONCRETE
  - PROPOSED POROUS ASPHALT PAVEMENT
  - PROPOSED HEAVY DUTY PAVEMENT



NEW JERSEY STATE HIGHWAY U.S. ROUTE NO. 130

(ASPHALT ROADWAY)  
(85' WIDE)  
(50 MPH POSTED SPEED LIMIT)

REFER TO NOTES AND REFERENCES SHEET FOR ADDITIONAL NOTES, REFERENCES AND SPECIFICATIONS.

THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY



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CHECKED BY: BC  
DATE: 05/03/2021  
CAD ID: J200460-SPF-0A

PROJECT:  
**PRELIMINARY AND FINAL MAJOR SITE PLAN & MINOR SUBDIVISION PLAN**  
FOR  
**CSW AS VI CINNAMINSON URBAN RENEWAL L.P. C/O WESTRUM DEVELOPMENT COMPANY**  
PROPOSED SENIOR LIVING FACILITY  
MAP: 13 | BLK: 1304 | EXISTING LOT: 18  
PROPOSED LOTS: 18.01 & 18.02  
605 N.J.S.H. ROUTE 130  
TOWNSHIP OF CINNAMINSON  
BURLINGTON COUNTY, NEW JERSEY

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**B.S. CROWDER**  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE NO. 522692  
PENNSYLVANIA LICENSE NO. 086764  
NEW YORK LICENSE NO. 100602

SHEET TITLE:  
**SITE LAYOUT PLAN**  
SHEET NUMBER:  
**C-302**  
ORG. DATE - 05/03/2021

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C:\02021\200460\DRAWINGS\CURRENT DRAWINGS\SITE PLAN PACKAGE\200460-SPF-0A\LAYOUT\_C-302.SIT



BLOCK 1304 LOT 4 N/F LANDS OF KIMBERLY MANCINI & KRISTINE PAINTER D.B. 13107, PG. 11

BLOCK 1304 LOT 5 N/F LANDS OF PETER & VICTORIA MULLIGAN D.B. 5463, PG. 173

BLOCK 1304 LOT 6 N/F LANDS OF JOANNE BRODZIK & ELIZABETH GILL D.B. 6339, PG. 476

BLOCK 1304 LOT 7 N/F LANDS OF MURIS & SABRINA DZAFIC D.B. 6717, PG. 582

BLOCK 1304 LOT 8 N/F LANDS OF ANGELITO PIERRE D.B. 13107, PG. 2303

BLOCK 1304 LOT 9 N/F LANDS OF WALTER F. CURRAN & MELISSA DANGLER D.B. 13095, PG. 5227

BLOCK 1304 LOT 15 N/F LANDS OF WHISTLERS LIMITED LIABILITY COMPANY D.B. 229, PG. 155

BLOCK 1304 LOT 17 N/F LANDS OF ANTHONY C. JR. & KAREN SPERDUTO D.B. 6292, PG. 439

PROP. LOT 18.01 (TOWNSHIP RETAINED LAND) AREA = 57,521 SF (1.320 AC)

PROP. LOT 18.02 (WESTURN) AREA = 156,216 SF (3.587 AC)

PROPOSED 3-STORY BUILDING FOOTPRINT: +54,219 SF 102 PARKING SPACES PROVIDED 142 UNITS (INCLUDE UP TO 163 BEDS)

BLOCK 1304 LOT 17 N/F LANDS OF TRAFALGAR CAPITAL REALTY D.B. 6671, PG. 119

IMPROVEMENTS ON LOTS 19 & 20 CURRENTLY UNDER CONSTRUCTION

EXIST. EXIST. INLET #16 GRT 61.53 INV(IN):59.76 (15') INV(OUT):58.24 (15')

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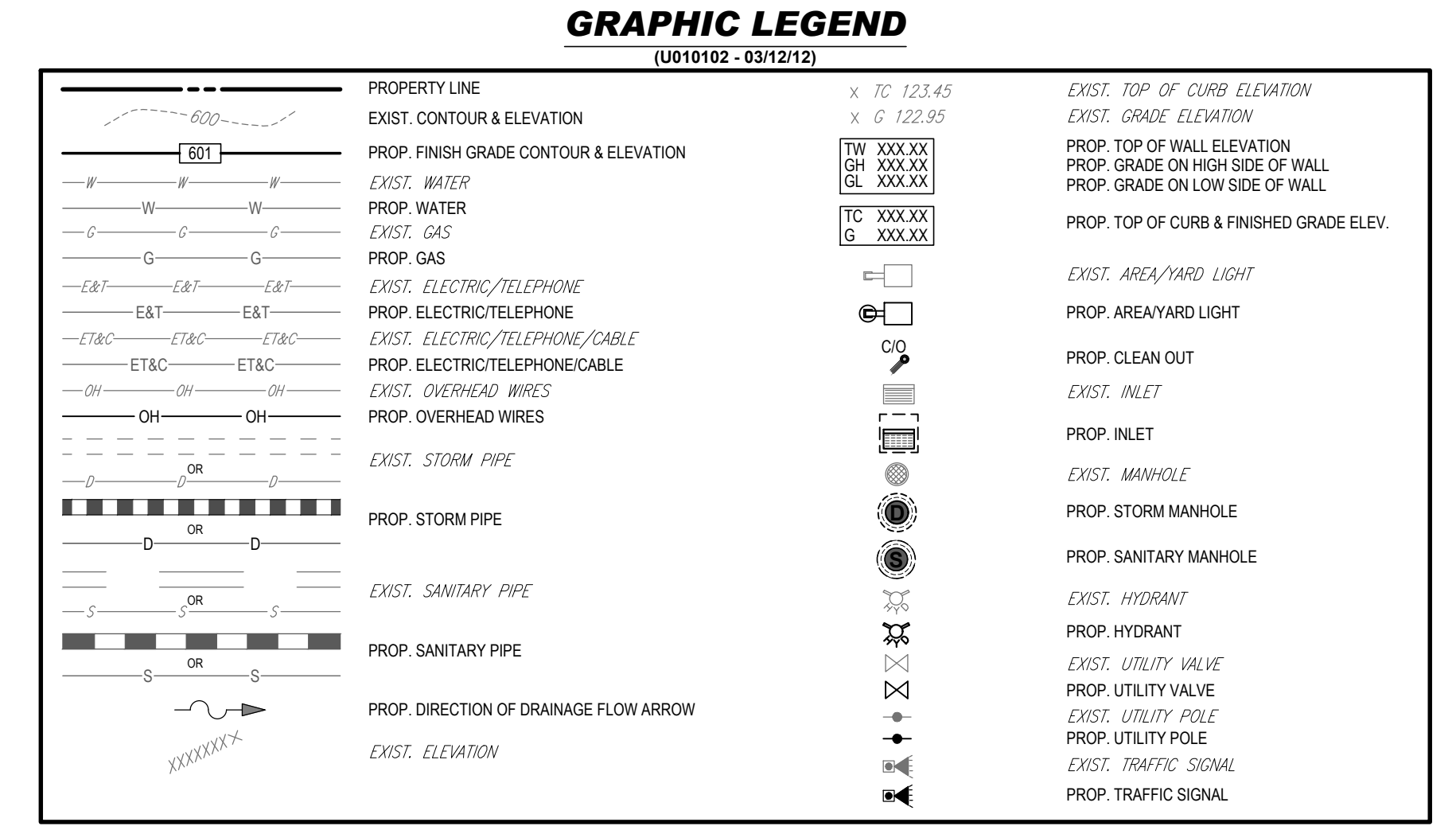
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ACCESSIBILITY DESIGN GUIDELINES (Rev. 1/2020)

- 1. ALL ACCESSIBLE (A.K.A. ADA) COMPONENTS AND ACCESSIBLE ROUTES MUST BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF: (A) THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE (42 U.S.C. § 12101 ET SEQ. AND 42 U.S.C. § 1191 ET SEQ.); AND (B) ANY APPLICABLE LOCAL AND STATE GUIDELINES, AND ANY AND ALL AMENDMENTS TO BOTH, WHICH ARE IN EFFECT WHEN THESE PLANS WERE COMPLETED.
2. THE CONTRACTOR MUST REVIEW ALL DOCUMENTS REFERENCED IN THESE NOTES FOR ACCURACY, COMPLIANCE AND CONSISTENCY WITH INDUSTRY GUIDELINES.
3. THE CONTRACTOR MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ACCESSIBLE (ADA) COMPONENTS AND ACCESSIBLE ROUTES FOR THE SITE. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACES, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EXIT, MUST COMPLY WITH THE ACCESSIBILITY GUIDELINES AND REQUIREMENTS WHICH INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:
A. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SLOPES MUST NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION.
B. PATH OF TRAVEL ALONG ACCESSIBLE ROUTE MUST PROVIDE A 36-INCHES MINIMUM WIDTH (48-INCHES PREFERRED), OR AS SPECIFIED BY THE GOVERNING AGENCY UNLESS UNSTRUCTURED TRAVEL (CAR OVERHANGS AND HANDRAILS) MUST NOT REDUCE THIS MINIMUM WIDTH. THE SLOPE MUST NOT EXCEED 1:20 (5.0%) IN THE DIRECTION OF TRAVEL AND MUST NOT EXCEED 1:50 (2.0%) IN CROSS SLOPE. WHERE ACCESSIBLE PATH OF TRAVEL IS GREATER THAN 1:20 (5.0%), AN ACCESSIBLE RAMP MUST BE PROVIDED ALONG THE PATH OF TRAVEL. OPENINGS MUST NOT EXCEED 12-INCH IN WIDTH. VERTICAL CHANGES UP TO 1/2-INCH ARE PERMITTED ONLY IF THEY INCLUDE A 1/4-INCH BEVEL AT A SLOPE NOT STEEPER THAN 1:2. NO VERTICAL CHANGES OVER 1/4-INCH ARE PERMITTED.
C. ACCESSIBLE RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.3%) AND A RISE OF 30-INCHES. LEVEL LANDINGS MUST BE PROVIDED AT EACH END OF ACCESSIBLE RAMPS. LANDING MUST PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES, AND MUST NOT EXCEED 1:50 (2.0%) SLOPE IN ANY DIRECTION. RAMPS THAT CHANGE DIRECTION BETWEEN RUNS AT LANDINGS MUST HAVE A CLEAR LANDING OF A MINIMUM OF 60-INCHES BY 60-INCHES. HAND RAILS ON BOTH SIDES OF THE RAMP MUST BE PROVIDED ON AN ACCESSIBLE RAMP WITH A RISE GREATER THAN 6-INCHES.
D. ACCESSIBLE CURB RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.3%) WHERE FLARED SIDES ARE PROVIDED. THEY MUST NOT EXCEED 1:10 (10%) SLOPE. LEVEL LANDING MUST BE PROVIDED AT RAMP TOP AT A MINIMUM OF 36-INCHES LONG (48-INCHES PREFERRED). IN ALTERNATIONS, WHEN THERE IS NO LANDING AT THE TOP, FLARE SIDES SLOPES MUST NOT EXCEED A SLOPE OF 1:12 (8.3%).
E. DOORWAY LANDINGS AREAS MUST BE PROVIDED ON THE EXTERIOR SIDE OF ANY DOOR LEADING TO AN ACCESSIBLE PATH OF TRAVEL. THIS LANDING MUST BE SLOPED AWAY FROM THE DOOR NO MORE THAN 1:50 (2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA MUST BE NO FEWER THAN 60-INCHES (6 FEET) LONG, EXCEPT WHERE OTHERWISE CLEARLY PERMITTED BY ACCESSIBILITY STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS. (SEE ICCANSI A117.1-2009 AND OTHER REFERENCES INCORPORATED BY CODE).
F. WHEN THE PROPOSED CONSTRUCTION INVOLVES RECONSTRUCTION, MODIFICATION, REVISION OR EXTENSION OF OR TO ACCESSIBLE COMPONENTS FROM EXISTING DOORWAYS OR SURFACES, THE CONTRACTOR MUST VERIFY ALL EXISTING ELEVATIONS SHOWN ON THE PLAN NOTE THAT TABLE 405.2 OF THE DEPARTMENT OF JUSTICE'S ADA STANDARDS FOR ACCESSIBLE DESIGN ALLOWS FOR STEEPER RAMP SLOPES, IN RARE CIRCUMSTANCES. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, OF ANY DISCREPANCIES AND/OR FIELD CONDITIONS THAT DIFFER IN ANY WAY OR IN ANY RESPECT FROM WHAT IS SHOWN ON THE PLANS BEFORE COMMENCING ANY WORK. CONSTRUCTED IMPROVEMENTS MUST FALL WITHIN THE MAXIMUM AND MINIMUM LIMITATIONS IMPOSED BY THE BARRIER FREE REGULATIONS AND THE ACCESSIBILITY GUIDELINES.
G. THE CONTRACTOR MUST VERIFY ALL OF THE SLOPES OF THE CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE. IF ANY NON-COMFORMANCE EXISTS OR IS OBSERVED OR DISCOVERED, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, PRIOR TO POURING CONCRETE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL COSTS TO REMOVE, REPAIR AND/OR REPLACE NON-COMFORMING CONCRETE AND/OR PAVEMENT SURFACES.
4. IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION TO ENSURE SAME IS CONSISTENT WITH THE LOCAL BUILDING CODE PRIOR TO COMMENCING CONSTRUCTION.
5. ANY WORK PROPOSED IN THE STATE OF NEW JERSEY MUST CONFORM TO THE NJ UNIFORM CONSTRUCTION CODE SUBCHAPTER 7, BARRIER-FREE ACCESS.



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Table with columns: REV, DATE, COMMENT, DRAWN BY.

811 Know what's below. Call before you dig. NEW JERSEY YOU MUST CALL 811 BEFORE ANY EXCAVATION WHETHER IT'S ON PRIVATE OR PUBLIC LAND.

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PROJECT: PRELIMINARY AND FINAL MAJOR SITE PLAN & MINOR SUBDIVISION PLAN FOR CSW AS VI CINNAMONSON URBAN RENEWAL L.P. C/O WESTURN DEVELOPMENT COMPANY PROPOSED SENIOR LIVING FACILITY MAP: 13 | BLK: 1304 | EXISTING LOT: 18 PROPOSED LOTS: 18.01 & 18.02 605 N.S.H. ROUTE 130 TOWNSHIP OF CINNAMONSON BURLINGTON COUNTY, NEW JERSEY

BOHLER// BOHLER ENGINEERING NJ, LLC 30 INDEPENDENCE BLVD., SUITE 200 WARREN, NJ 07059 Phone: (908) 688-6300 Fax: (908) 724-4401 www.BohlerEngineering.com

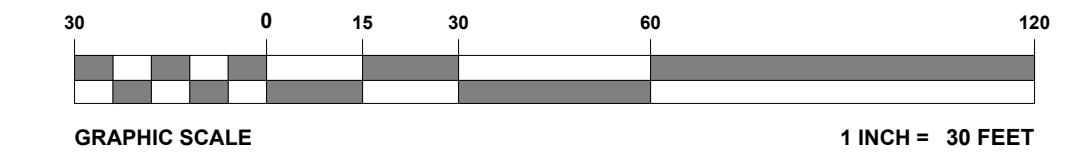
B.S. CROWDER PROFESSIONAL ENGINEER NEW JERSEY LICENSE NO. 52262 PENNSYLVANIA LICENSE NO. 086764 NEW YORK LICENSE NO. 100602

NEW JERSEY STATE HIGHWAY U.S. ROUTE NO. 130

(ASPHALT ROADWAY) (85' WIDE) (50 MPH POSTED SPEED LIMIT)

REFER TO NOTES AND REFERENCES SHEET FOR ADDITIONAL NOTES, REFERENCES AND SPECIFICATIONS.

THIS PLAN TO BE UTILIZED FOR SITE GRADING PURPOSES ONLY



SHEET TITLE: GRADING PLAN SHEET NUMBER: C-401 ORG. DATE: 05/03/2021



D.B. 13107, PG. 11

**UNDERGROUND DETENTION BASIN MAINTENANCE NOTES**

(G010002-1/2020)

- 1. STONE SUPPLIER FOR 2-1/2" CRUSHED STONE IN U.G. DETENTION BASIN TO CERTIFY THAT A VOID RATIO OF 40% WILL BE PROVIDED BY THE 2-1/2" STONE.
2. CONTRACTOR TO BACKFILL DETENTION SYSTEM WITH STONE IN 6" LIFTS.
3. MINIMUM OF 12" OF COVER REQUIRED OVER ALL PIPE (ADDITIONAL IF WHERE RECOMMENDED BY MANUFACTURER).
4. MAINTENANCE SCHEDULE:
A. OUTLET STRUCTURES TO BE INSPECTED ANNUALLY AND RESIDUAL SEDIMENTATION IS TO BE REMOVED AND PROPERLY DISPOSED OF IN ACCORDANCE WITH THE TOWNSHIP, COUNTY, AND STATE REGULATIONS AS NECESSARY.
B. INLETS ARE TO BE INSPECTED AND CLEANED TO REMOVE SEDIMENTATION, TRASH AND/OR DEBRIS EVERY SIX (6) MONTHS OR AS NECESSARY TO ENSURE PROPER FUNCTION.
C. PIPES AND BEDDING TO BE INSPECTED AT THE REQUEST OF THE TOWNSHIP ENGINEER OR AS REQUIRED. PIPE NETWORK SYSTEM TO BE CLEANED OF SEDIMENTATION AND DEBRIS PER THE DIRECTION OF THE TOWNSHIP ENGINEER. DEBRIS TO BE REMOVED IN ACCORDANCE WITH TOWNSHIP, COUNTY AND STATE REGULATIONS.

**ABOVE GROUND DETENTION BASIN MAINTENANCE NOTES**

(G010001-1/2020)

- 1. STORM WATER MANAGEMENT FACILITIES SHALL BE REGULARLY MAINTAINED TO INSURE THEY FUNCTION AT DESIGN CAPACITY AND TO PREVENT HEALTH HAZARDS ASSOCIATED WITH DEBRIS BUILDUP AND STAGNANT WATER. THE PRIVATELY OWNED PORTION OF THE SYSTEM MUST BE PRIVATELY MAINTAINED.
2. RESPONSIBILITY FOR OPERATION AND MAINTENANCE OF STORM WATER FACILITIES, INCLUDING PERIODIC REMOVAL AND DISPOSAL OF ACCUMULATED PARTICULATE MATERIAL AND DEBRIS, BUT NOT LIMITED TO THE FOLLOWING: VISUAL INSPECTION OF ALL SYSTEM COMPONENTS AT LEAST TWICE EACH YEAR; VACUUMING OF ALL STORM SEWER INLETS ONCE EVERY SIX MONTHS (FREQUENCY OF VACUUMING MAY BE ADJUSTED TO ONCE A YEAR IF FIRST YEAR MAINTENANCE RECORDS INDICATE THAT SEDIMENT AND DEBRIS ACCUMULATION IS INSIGNIFICANT); REVERSE FLUSHING AND VACUUMING IF SYSTEM INSPECTIONS INDICATE SIGNIFICANT ACCUMULATION OF SEDIMENT IN THE PIPES; AND PERIODIC REMOVAL AND DISPOSAL OF OTHER MATERIAL AND DEBRIS. SHALL REMAIN WITH THE OWNER OR OWNERS OF THE PROPERTY, WITH PERMANENT ARRANGEMENTS THAT IS SHALL PASS TO ANY SUCCESSIVE OWNER, UNLESS ASSUMED BY A GOVERNMENTAL AGENCY.
3. IN THE EVENT THAT THE FACILITY BECOMES A DANGER TO PUBLIC SAFETY OR PUBLIC HEALTH, OR IF IT IS IN NEED OF MAINTENANCE, THE OWNER SHALL EFFECT SUCH MAINTENANCE AND REPAIR OF THE FACILITY IN A MANNER THAT IS APPROVED BY THE TOWNSHIP ENGINEER OR HIS DESIGNEE. IF THE OWNER FAILS OR REFUSES TO PERFORM SUCH MAINTENANCE AND REPAIR, THE MUNICIPALITY MAY IMMEDIATELY PROCEED TO DO SO AND SHALL BILL THE COST THEREOF TO THE OWNER.

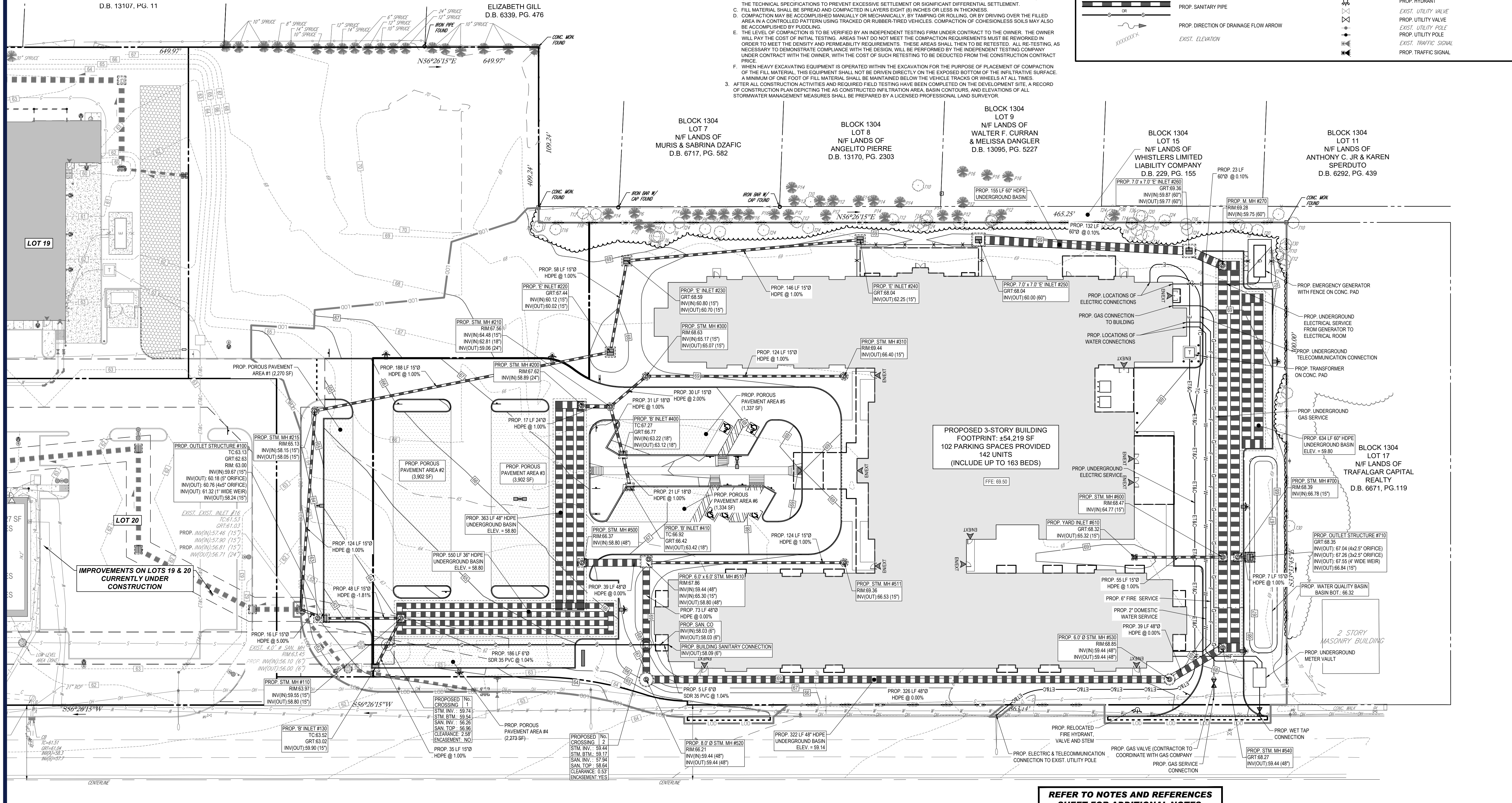
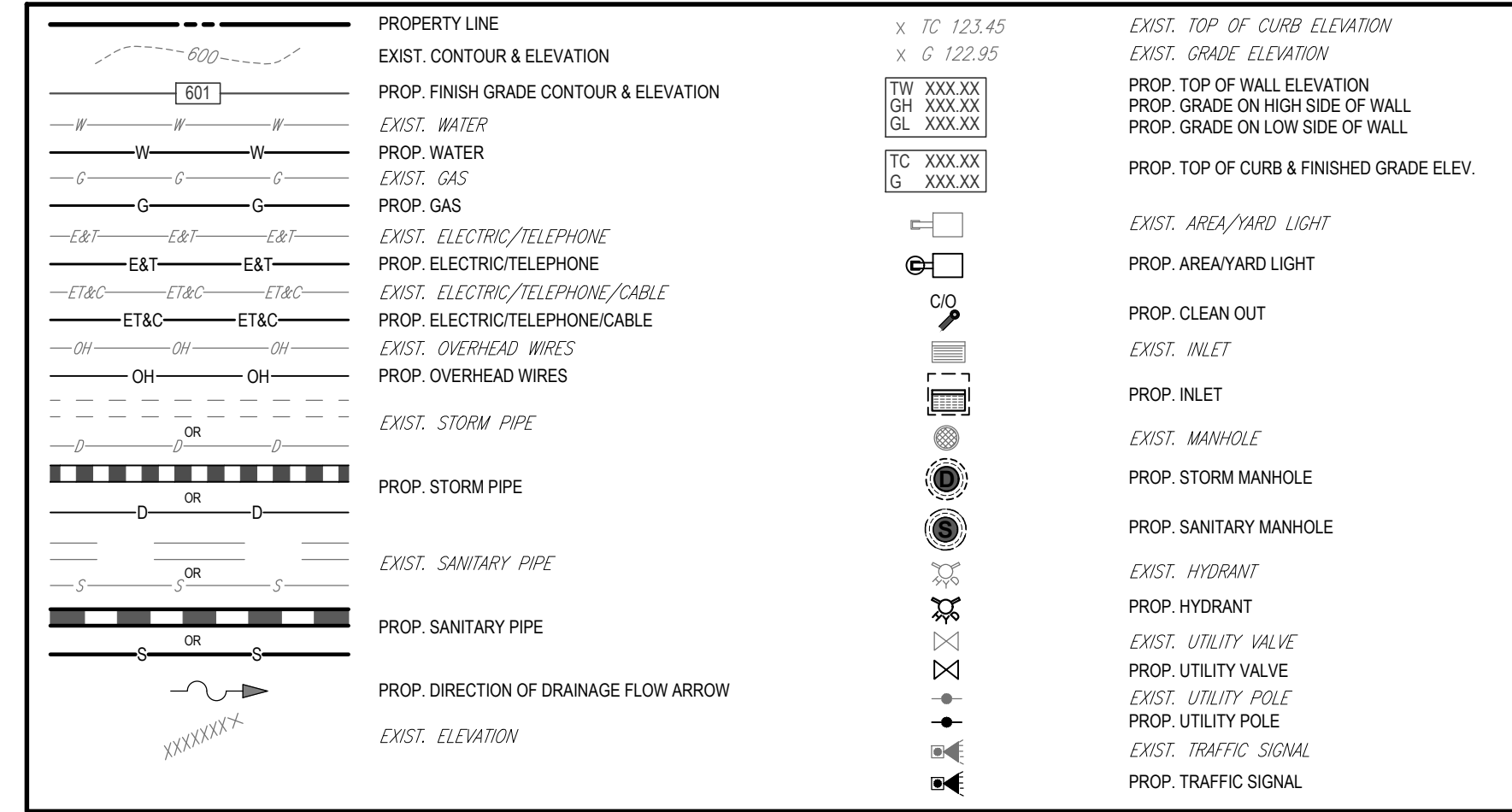
**INFILTRATION BASIN CONSTRUCTION NOTES**

(G000104 - 1/2020)

- 1. TO AVOID SEDIMENTATION THAT MAY RESULT IN CLOGGING AND REDUCE THE BASIN'S PERMEABILITY RATE, THE INFILTRATION BASIN SHALL BE CONSTRUCTED WITHOUT THE USE OF HEAVY EQUIPMENT AND ACCORDING TO THE FOLLOWING RECOMMENDED SEQUENCES:
A. TO THE GREATEST EXTENT PRACTICAL, WORK SHOULD BE SCHEDULED SO THAT THE BOTTOM AND SIDEWALLS OF THE BASIN EXCAVATION WILL NOT BE EXPOSED TO RAINFALL AND OR WIND-BLOWN SILT BETWEEN THE TIME OF EXCAVATION AND THE TIME OF FINAL INSPECTION AND APPLICATION OF STABILIZATION METHOD. ANY LOOSE SOIL OR DEBRIS WHICH IS WASHED INTO OR OTHERWISE DEPOSITED WITHIN THE EXCAVATION AS A RESULT OF THE EXCAVATION REMAINING OPEN TO THE ELEMENTS SHALL BE CAREFULLY REMOVED PRIOR TO STABILIZATION METHOD.
B. THE INFILTRATION BASIN SHALL NOT BE PLACED INTO OPERATION UNTIL ITS DRAINAGE AREA IS COMPLETELY STABILIZED. PRIOR TO STABILIZATION, UPSTREAM RUNOFF SHALL BE DIVERTED AROUND THE BASIN AND INTO SEPARATE, TEMPORARY STORMWATER MANAGEMENT FACILITIES AND SEDIMENT BASINS. SUCH TEMPORARY FACILITIES AND BASINS SHALL BE INSTALLED AND UTILIZED FOR STORMWATER MANAGEMENT AND SEDIMENT CONTROL UNTIL STABILIZATION IS ACHIEVED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL. IN NEW JERSEY, AS AMENDED AND SUPPLEMENTED, WHICH IS INCORPORATED HEREIN BY REFERENCE.
C. IF FOR PRACTICAL REASONS, TEMPORARY STORMWATER MANAGEMENT FACILITIES AND SEDIMENT BASINS CANNOT BE CONSTRUCTED ON THE SITE, THE INFILTRATION BASIN MAY BE PLACED INTO OPERATION PRIOR TO THE COMPLETE STABILIZATION OF ITS DRAINAGE AREA PROVIDED THAT THE BASIN'S BOTTOM DURING THIS PERIOD IS CONSTRUCTED AT A DEPTH AT LEAST TWO (2) FEET DEEPER THAN ITS FINAL DESIGN ELEVATION. WHEN THE DRAINAGE AREA IS COMPLETELY STABILIZED, ALL ACCUMULATED SEDIMENT SHALL BE REMOVED FROM THE INFILTRATION BASIN, WHICH SHALL THEN BE EXCAVATED TO ITS FINAL DESIGN ELEVATION IN ACCORDANCE WITH THE CONSTRUCTION REQUIREMENTS OF THIS SECTION.
D. TO AVOID COMPACTION OF SUBGRADE SOILS, NO HEAVY EQUIPMENT SUCH AS HEAVY BACKHOES, DUMP TRUCKS OR BULLDOZERS SHALL BE PERMITTED TO OPERATE WITHIN THE INFILTRATION AREA OF THE BASIN. ALL EXCAVATION REQUIRED TO CONSTRUCT A STORMWATER INFILTRATION BASIN SHALL BE PERFORMED BY EQUIPMENT PLACED OUTSIDE THE BASIN BOTTOM INFILTRATION AREA. IF THIS IS NOT POSSIBLE, THE SOILS WITHIN THE EXCAVATED AREA SHALL BE RENOVATED AND TILLED AFTER CONSTRUCTION IS COMPLETED TO REVERSE THE EFFECTS OF COMPACTION.
E. ANY SMOODED OR COMPACTED SOIL SURFACES WHICH HAVE BEEN PRODUCED ON THE BOTTOM OR SIDEWALLS OF THE EXCAVATION SHALL BE REMOVED TO EXPOSE A FRESH SOIL SURFACE WHICH IS ROUGH AND UNEVEN.
2. WHERE FILL MATERIAL IS PROPOSED WITHIN THE BASIN COMPACTION MAY BE REQUIRED AND SHALL BE CARRIED OUT IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:
A. COMPACTION OF FILL SHALL BE CARRIED OUT UNDER THE OBSERVATION OF A PROFESSIONAL ENGINEER WITH EXPERTISE IN THE GEOTECHNICAL FIELD, AND AS INDICATED ON THE APPROVED ENGINEERING DESIGN.
B. BASED UPON A FINAL REPORT OF COMPACTION TESTING RESULTS, A PROFESSIONAL ENGINEER, WITH EXPERTISE IN THE GEOTECHNICAL FIELD, WILL DETERMINE THAT COMPACTION OF THE FILL HAS BEEN PERFORMED IN SUBSTANTIAL COMPLIANCE WITH THE TECHNICAL SPECIFICATIONS TO PREVENT EXCESSIVE SETTLEMENT OR SIGNIFICANT SETTLEMENT.
C. FILL MATERIAL SHALL BE SPREAD AND COMPACTION IN LAYERS EIGHT (8) INCHES OR LESS IN THICKNESS.
D. COMPACTION MAY BE ACCOMPLISHED MANUALLY OR MECHANICALLY, BY TAMING OR ROLLING, OR BY DRIVING OVER THE FILLED AREA IN A CONTROLLED PATTERN USING TRACKED OR RUBBER-TYRED VEHICLES. COMPACTION OF COHESIONLESS SOILS MAY ALSO BE ACCOMPLISHED BY PUDDLING.
E. THE LEVEL OF COMPACTION IS TO BE VERIFIED BY AN INDEPENDENT TESTING FIRM UNDER CONTRACT TO THE OWNER. THE OWNER WILL PAY THE COST OF INITIAL TESTING. AREAS THAT DO NOT MEET THE COMPACTION REQUIREMENTS MUST BE REWORKED IN ORDER TO MEET THE DENSITY AND PERMEABILITY REQUIREMENTS. THESE AREAS SHALL THEN BE RETESTED. ALL RE-TESTING, AS NECESSARY TO DEMONSTRATE COMPLIANCE WITH THE DESIGN, WILL BE PERFORMED BY THE INDEPENDENT TESTING COMPANY UNDER CONTRACT WITH THE OWNER, WITH THE COST OF SUCH RE-TESTING TO BE DEDUCTED FROM THE CONSTRUCTION CONTRACT PRICE.
F. WHEN HEAVY EXCAVATING EQUIPMENT IS OPERATED WITHIN THE EXCAVATION FOR THE PURPOSE OF PLACEMENT OF COMPACTION OF THE FILL MATERIAL, THIS EQUIPMENT SHALL NOT BE DRIVEN DIRECTLY ON THE EXPOSED BOTTOM OF THE INFILTRATIVE SURFACE. A MINIMUM OF ONE FOOT OF FILL MATERIAL SHALL BE MAINTAINED BELOW THE VEHICLE TRACKS OR WHEELS AT ALL TIMES.
3. AFTER ALL CONSTRUCTION ACTIVITIES AND REQUIRED FIELD TESTING HAVE BEEN COMPLETED ON THE DEVELOPMENT SITE, A RECORD OF CONSTRUCTION PLAN DEPICTING THE AS CONSTRUCTED INFILTRATION AREA, BASIN CONTOURS, AND ELEVATIONS OF ALL STORMWATER MANAGEMENT MEASURES SHALL BE PREPARED BY A LICENSED PROFESSIONAL LAND SURVEYOR.

**GRAPHIC LEGEND**

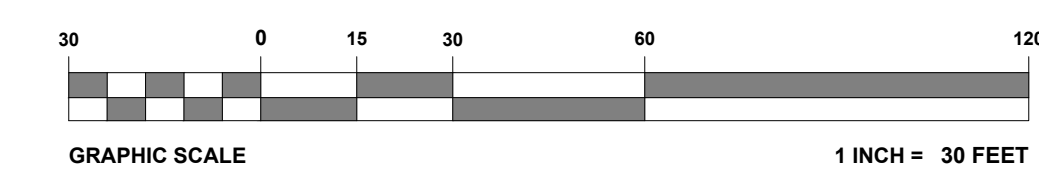
(U010102 - 03/12/12)



PROP. UTILITY SIZE ARE TO BE COORDINATED WITH UTILITY PROVIDERS

REFER TO NOTES AND REFERENCES SHEET FOR ADDITIONAL NOTES, REFERENCES AND SPECIFICATIONS.

THIS PLAN TO BE UTILIZED FOR DRAINAGE AND UTILITIES PURPOSES ONLY



**NEW JERSEY STATE HIGHWAY U.S. ROUTE NO. 130**

(ASPHALT ROADWAY) (85' WIDE) (50 MPH POSTED SPEED LIMIT)

BOHLER logo and contact information for site civil and consulting engineering.

Table with columns: REV, DATE, COMMENT, DRAWN BY, CHECKED BY.

811 logo with text: Know what's below. Call before you dig.

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PROJECT No.: J200460, DRAWN BY: CR/JF, CHECKED BY: BC, DATE: 05/03/2021, CAD ID: J200460-GDU-0A

PRELIMINARY AND FINAL MAJOR SITE PLAN & MINOR SUBDIVISION PLAN FOR CSW AS VI CINNAMINSON URBAN RENEWAL L.P. C/O WESTRUM DEVELOPMENT COMPANY PROPOSED SENIOR LIVING FACILITY MAP: 13 | BLK: 1304 | EXISTING LOT: 18 PROPOSED LOTS: 18.01 & 18.02 605 N.J.S.H. ROUTE 130 TOWNSHIP OF CINNAMINSON BURLINGTON COUNTY, NEW JERSEY

BOHLER logo and address: 30 INDEPENDENCE BLVD., SUITE 200 WARREN, NJ 07059

B.S. CROWDER logo and professional engineer information.

SHEET TITLE: DRAINAGE AND UTILITIES PLAN

SHEET NUMBER: C-501

ORG. DATE - 05/03/2021



**DEFINITION**  
THE CONTROL OF DUST ON CONSTRUCTION SITES AND ROADS

**PURPOSE**  
TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES, REDUCE ON- AND OFF-SITE DAMAGE AND HEALTH HAZARDS, AND IMPROVE TRAFFIC SAFETY.

**CONDITION WHERE PRACTICE APPLIES**  
THIS PRACTICE IS APPLICABLE TO AREAS SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON-SITE AND OFF-SITE DAMAGE IS LIKELY WITHOUT TREATMENT. CONSULT WITH LOCAL MUNICIPAL ORDINANCES ON ANY RESTRICTIONS.

**WATER QUALITY ENHANCEMENT**  
SEDIMENTS DEPOSITED AS "DUST" ARE OFTEN FINE COLLOIDAL MATERIAL WHICH IS EXTREMELY DIFFICULT TO REMOVE FROM WATER ONCE IT BECOMES SUSPENDED. USE OF THIS STANDARD WILL HELP TO CONTROL THE GENERATION OF DUST FROM CONSTRUCTION SITES AND SUBSEQUENT BLOWING AND DEPOSITION INTO LOCAL SURFACE WATER RESOURCES.

**PLANNING CRITERIA**  
THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST:  
MULCHES - SEE STANDARDS FOR STABILIZATION WITH MULCHES ONLY  
VEGETATIVE COVER - SEE STANDARDS FOR TEMPORARY VEGETATIVE COVER, PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION, AND PERMANENT STABILIZATION WITH SOG.  
SPRAY-ON ADHESIVES - ON MINERAL SOILS (NOT EFFECTIVE ON MOCK SOILS). KEEP TRAFFIC OFF THESE AREAS.

WATER DILUTION	TYPE OF NOZZLE	APPLY GALLONS/ACRE
ANIONIC ASPHALT EMULSION	7:1 COARSE SPRAY	1,200
LATEX EMULSION	12.5:1 FINE SPRAY	235
RESIN IN WATER	4:1 FINE SPRAY	300
POLYACRYLAMIDE (PAM) - SPRAY ON	APPLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS. MAY ALSO BE USED AS AN ADDITIVE TO SEDIMENT BASINS TO FLOCCULATE AND PRECIPITATE SUSPENDED COLLOIDS. SEE SEDIMENT BASIN STANDARD.	
POLYACRYLAMIDE (PAM) - DRY SPREAD		
ACIDULATED SOY BEAN SOAP STICK	NONE COARSE SPRAY	1,200

**TILLAGE:** TO ROUGHEN THE SURFACE AND BRING THE CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.

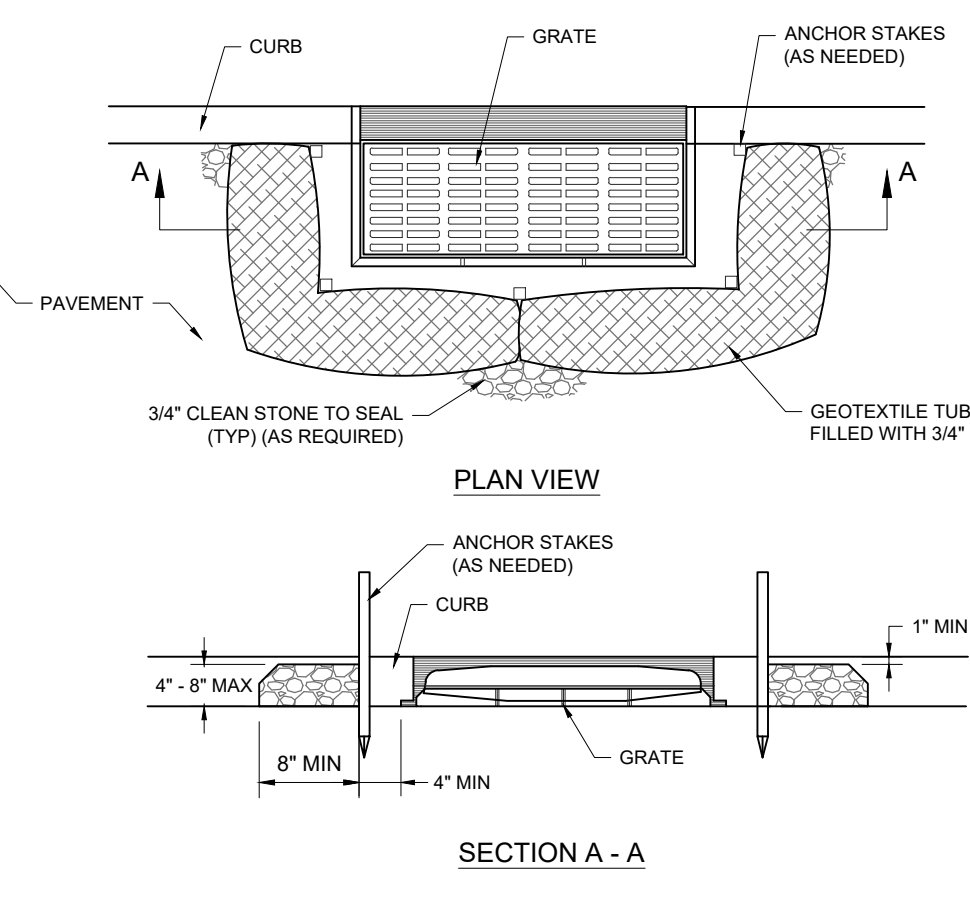
**SPRINKLING:** SITE IS SPRINKLED UNTIL THE SURFACE IS WET.

**BARRIERS:** SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.

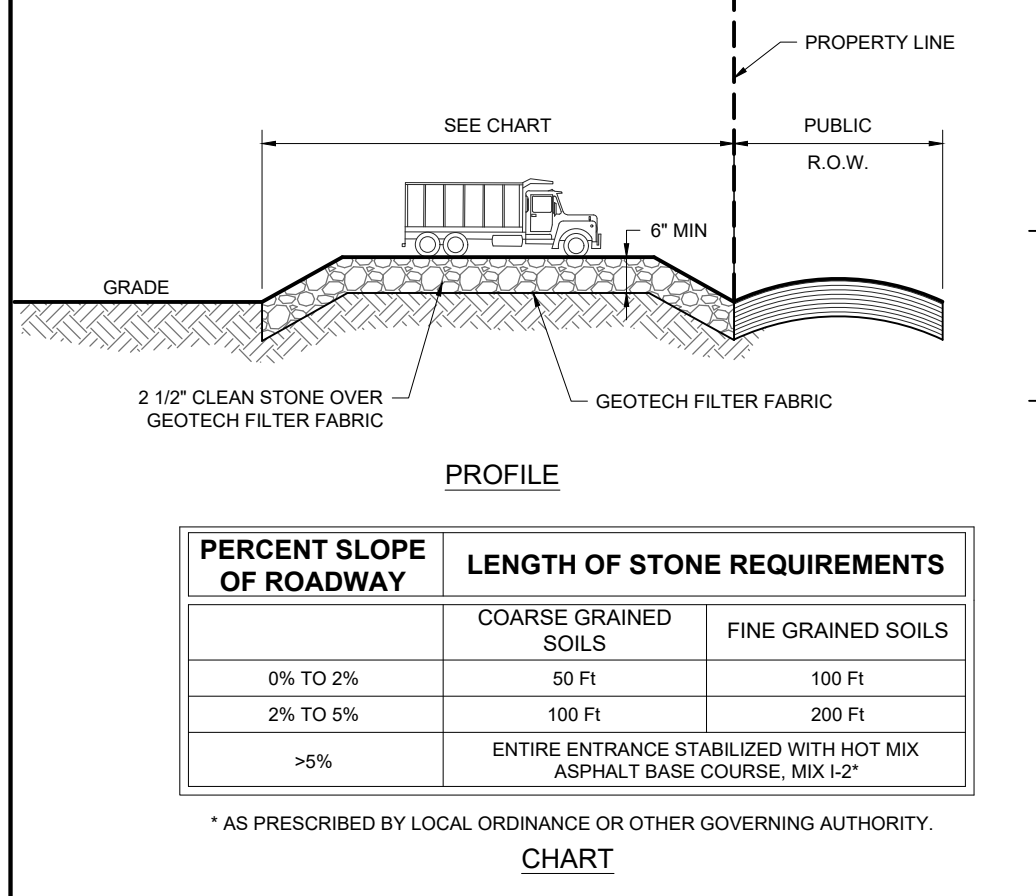
**CALCIUM CHLORIDE:** SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS.

**STONE:** COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

**3 NJSCD STANDARD FOR DUST CONTROL**  
NOT TO SCALE (0999916 - 2/2018)



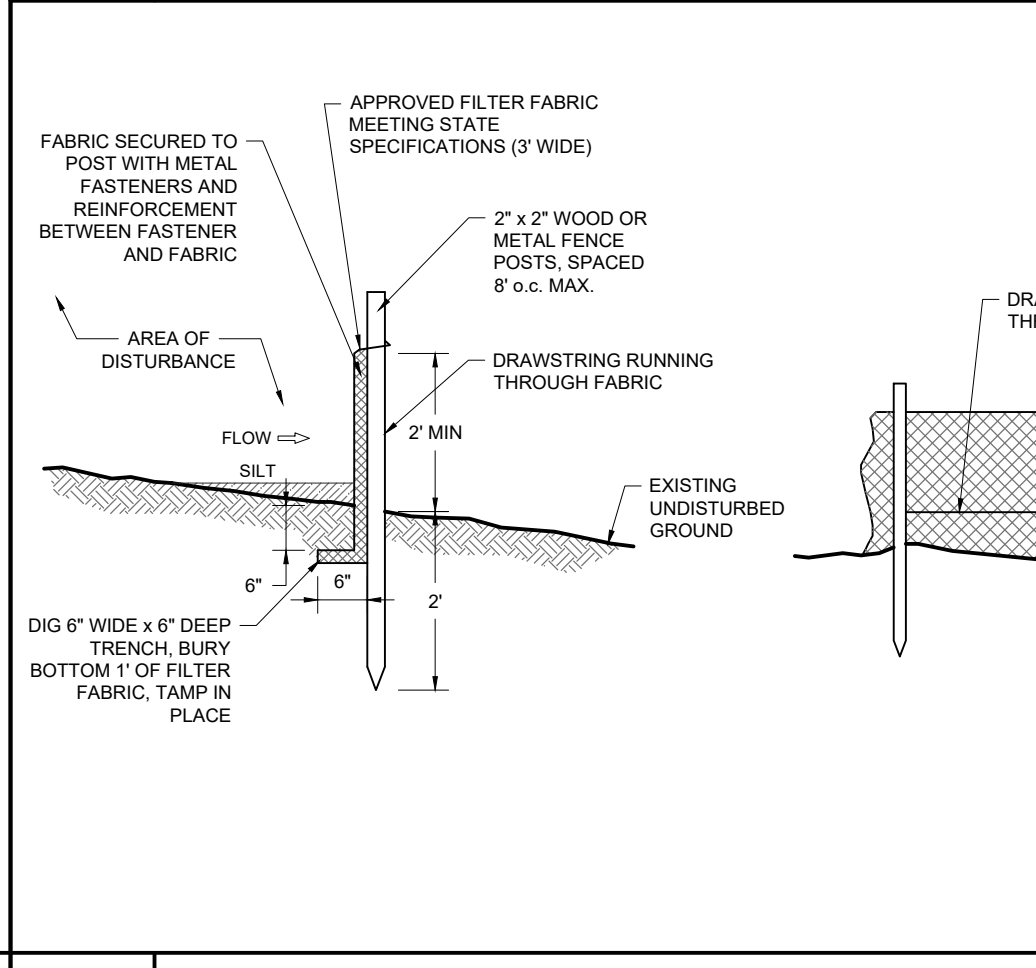
**6 INLET FILTER / GEOTEXTILE TUBES DETAIL**  
NOT TO SCALE (0049901-01/2013)



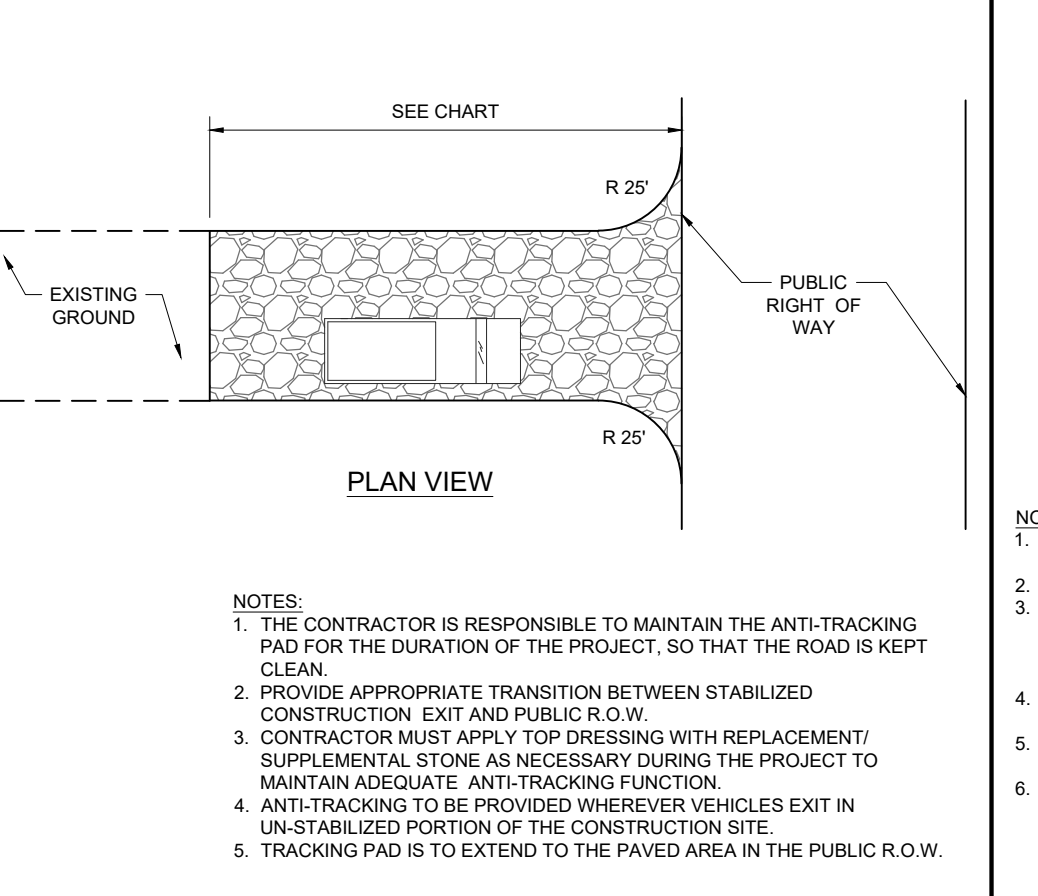
PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIREMENTS	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0% TO 2%	50 FT	100 FT
2% TO 5%	100 FT	200 FT
>5%	ENTIRE ENTRANCE STABILIZED WITH HOT MIX ASPHALT BASE COURSE, MIX 1-2*	

\*AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER GOVERNING AUTHORITY.

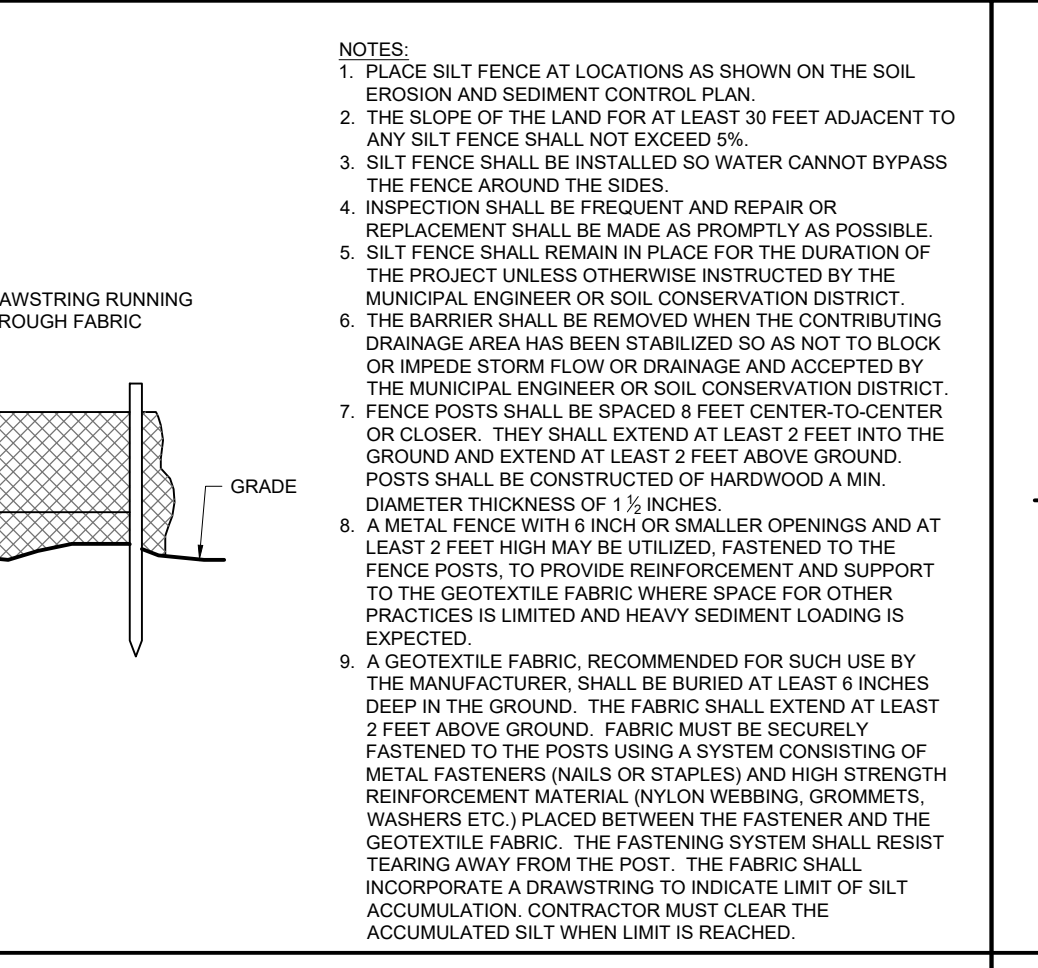
**1 STABILIZED CONSTRUCTION EXIT/ACCESS & ANTI-TRACKING PAD DETAIL**  
NOT TO SCALE (0029901-08/2017)



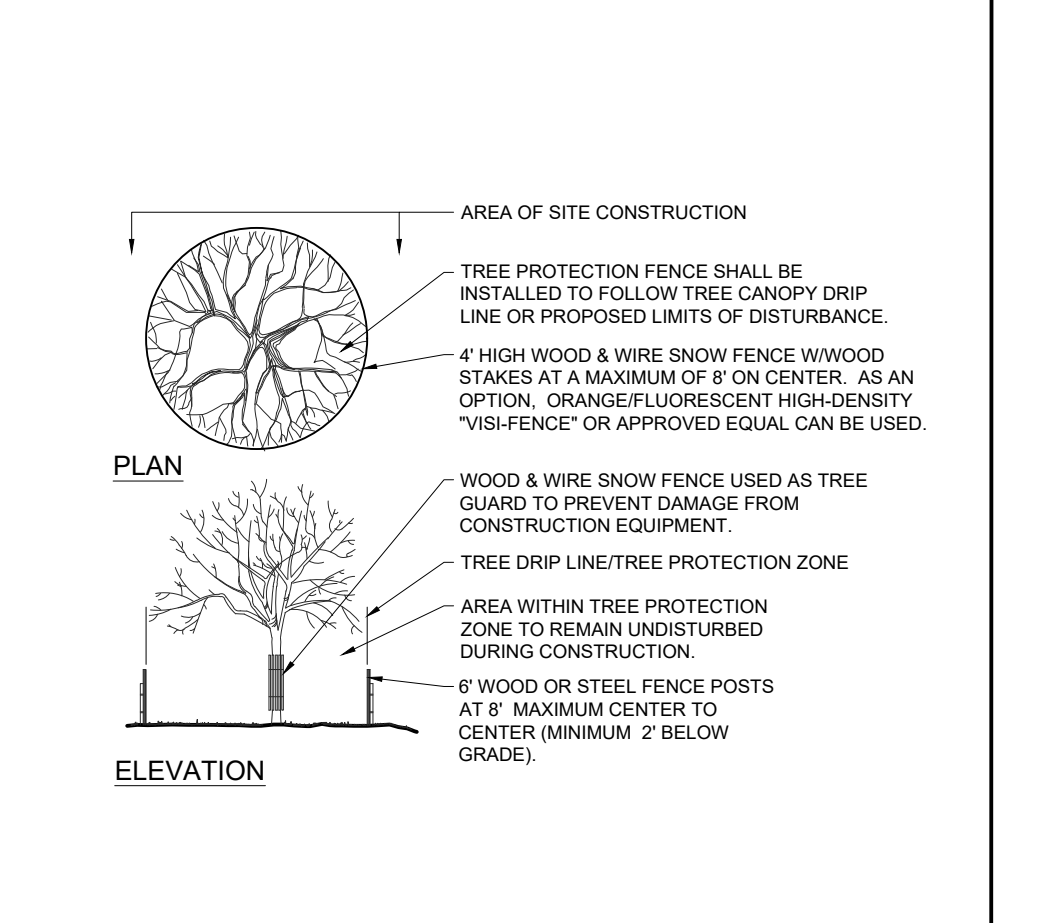
**4 SILT FENCE DETAIL**  
NOT TO SCALE (0039902 - 1/2017)



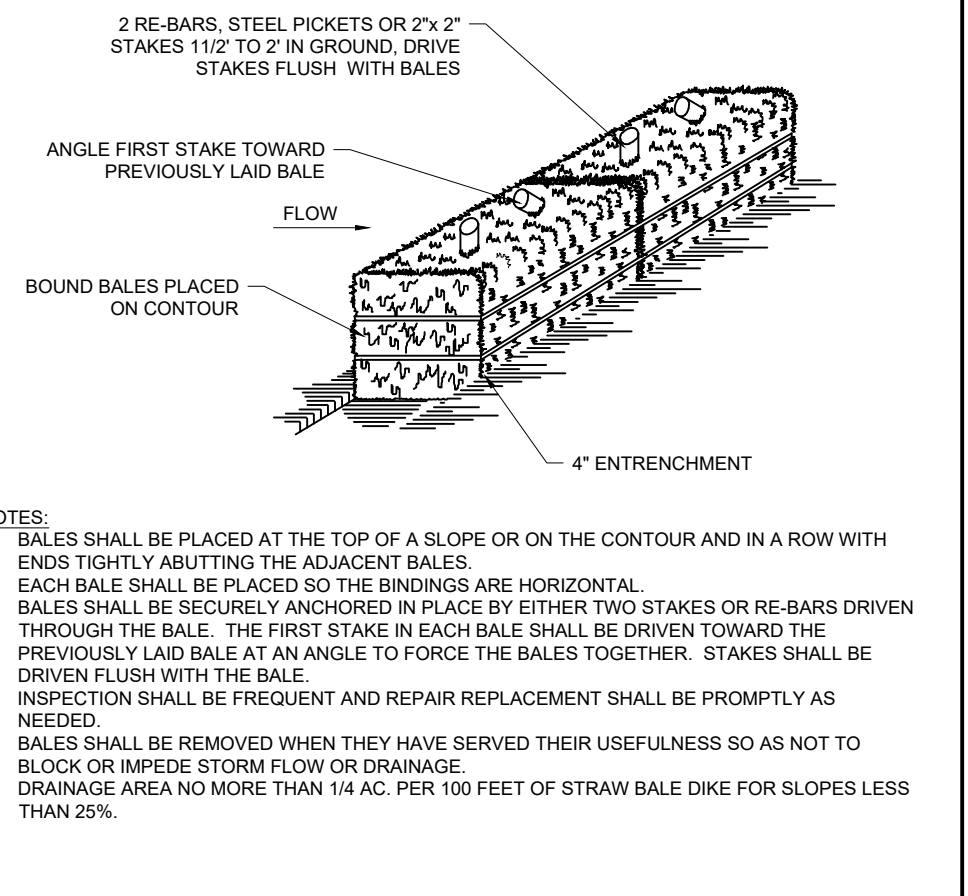
**2 STRAW BALE & DIKE DETAIL**  
NOT TO SCALE (0059901-01/2013)



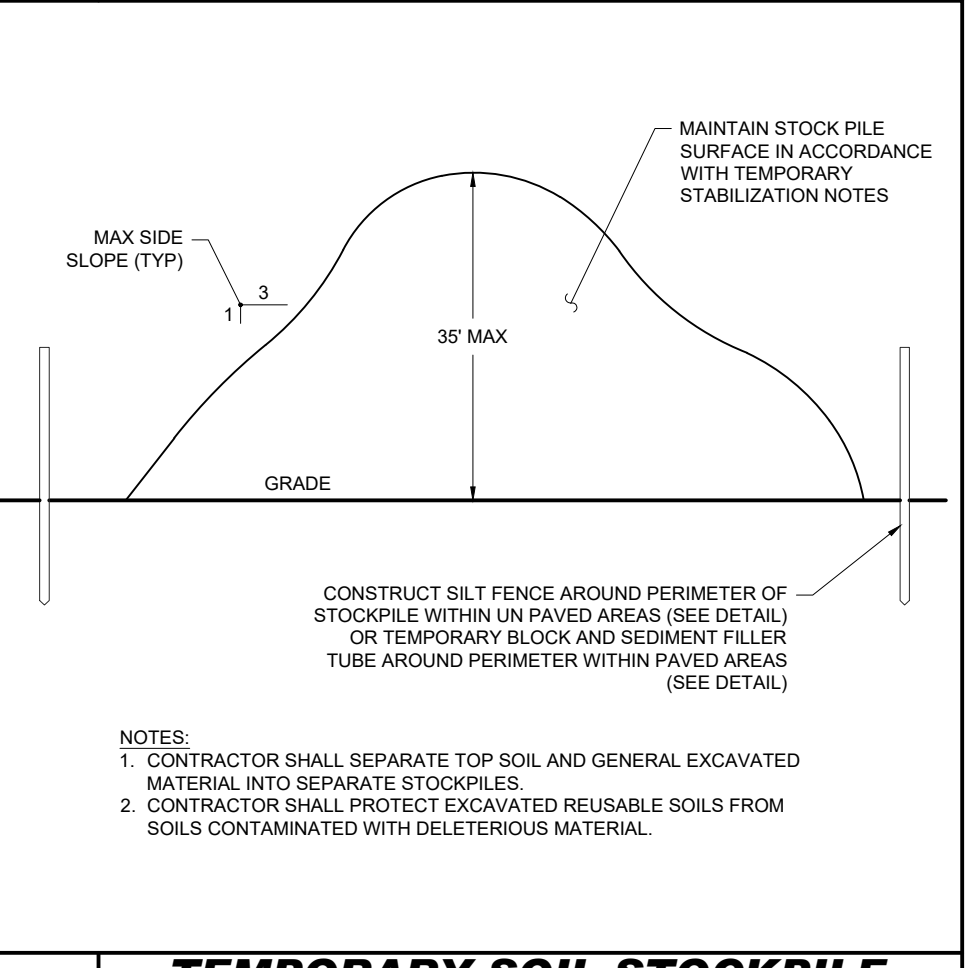
**5 TEMPORARY SOIL STOCKPILE DETAIL**  
NOT TO SCALE (0079901 - 1/2017)



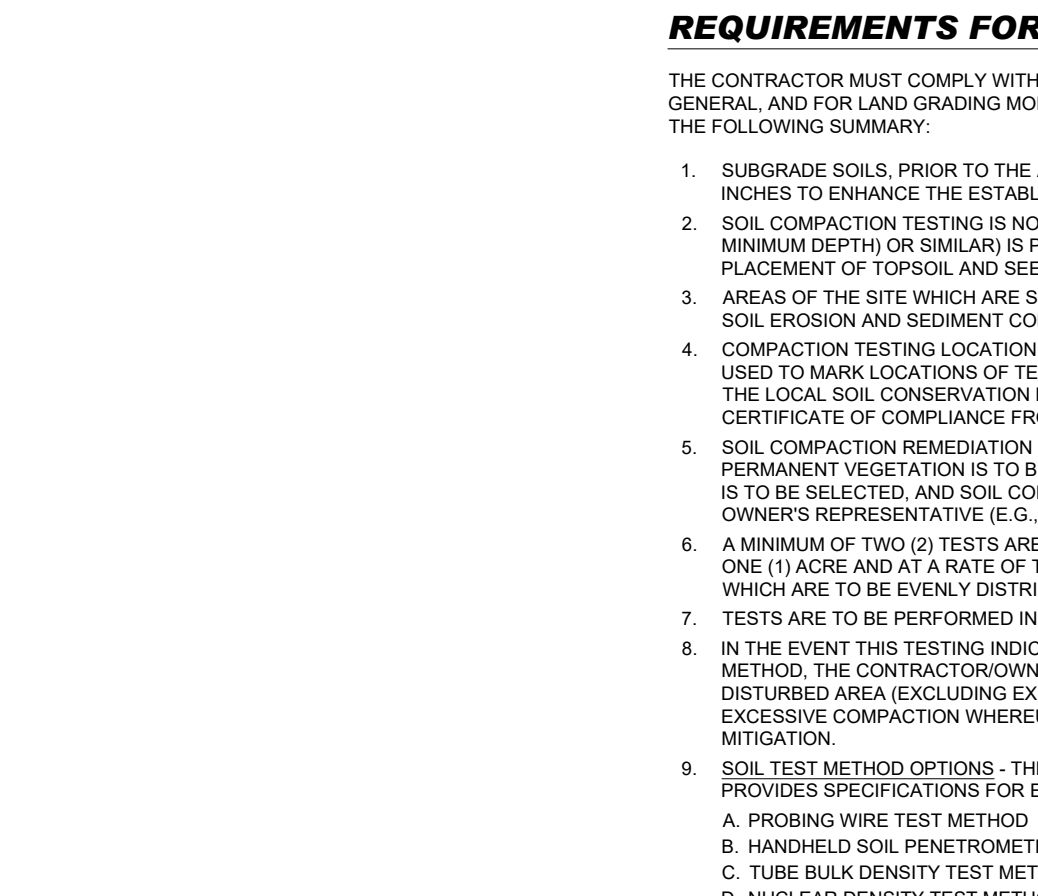
**7 TREE PROTECTION DURING SITE CONSTRUCTION DETAIL**  
NOT TO SCALE (0039909 - 4/2017)



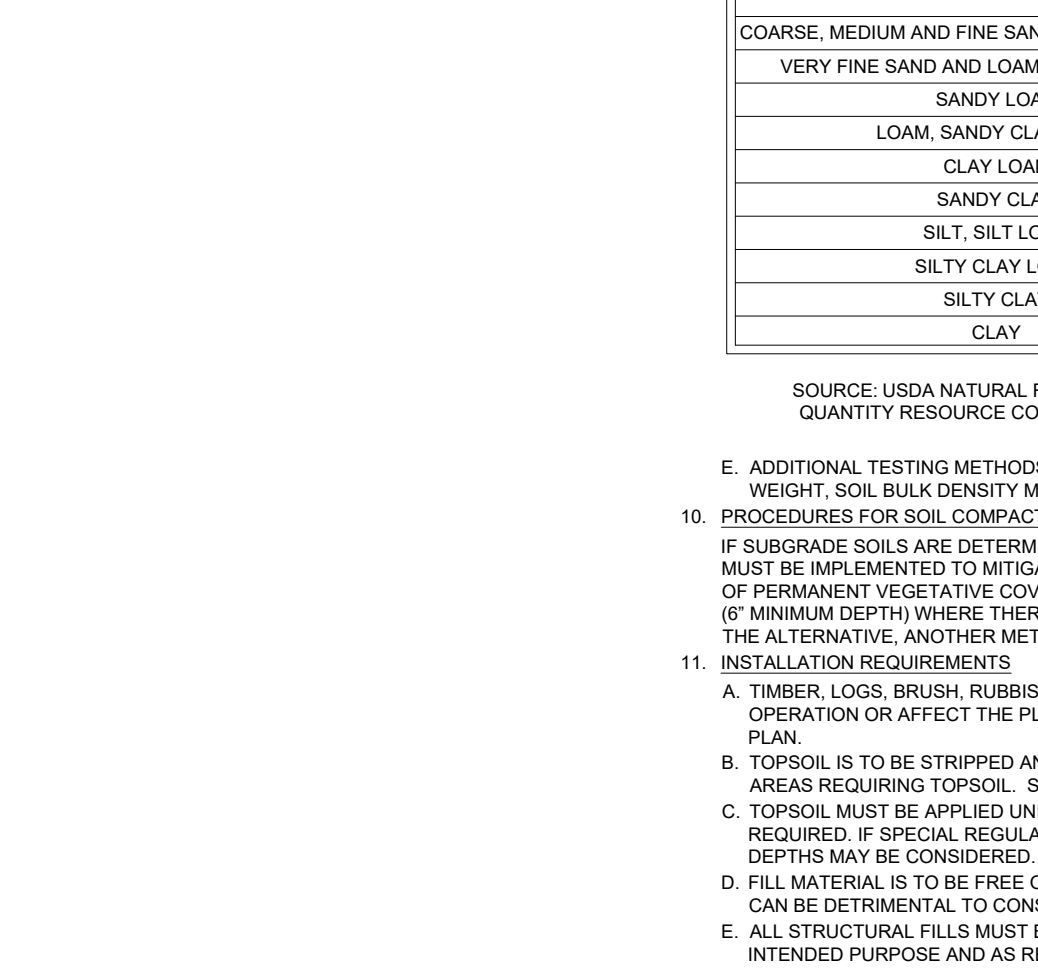
**1 STABILIZED CONSTRUCTION EXIT/ACCESS & ANTI-TRACKING PAD DETAIL**  
NOT TO SCALE (0029901-08/2017)



**4 SILT FENCE DETAIL**  
NOT TO SCALE (0039902 - 1/2017)



**2 STRAW BALE & DIKE DETAIL**  
NOT TO SCALE (0059901-01/2013)



**5 TEMPORARY SOIL STOCKPILE DETAIL**  
NOT TO SCALE (0079901 - 1/2017)

**REQUIREMENTS FOR LAND GRADING** (0009902-01/18)

THE CONTRACTOR MUST COMPLY WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY (SSESCNJ) IN GENERAL, AND FOR LAND GRADING MORE SPECIFICALLY, CHAPTER 19. THESE REQUIREMENTS INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING SUMMARY:

- SUBGRADE SOILS PRIOR TO THE APPLICATION OF TOPSOIL MUST BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 6.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
- SOIL COMPACTION TESTING IS NOT REQUIRED IF WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) OR SIMILAR) IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION, AND PERFORMED JUST PRIOR TO PLACEMENT OF TOPSOIL AND SEEDING.
- AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GRAPHICALLY DENOTED ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN.
- COMPACTION TESTING LOCATION ARE DENOTED ON THE PLAN. A COPY OF THE PLAN, OR PORTION OF THE PLAN, MUST BE USED TO MARK LOCATIONS OF TESTS AND BE ATTACHED TO THE COMPACTION MITIGATION VERIFICATION FORM, AVAILABLE AT THE LOCAL SOIL CONSERVATION DISTRICT. THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT OR AGENCY HAVING JURISDICTION.
- SOIL COMPACTION REMEDIATION IS TO BE ESTABLISHED THAT ARE NOT OTHERWISE EXEMPTED BY THE SSESCNJ. TESTING METHOD IS TO BE SELECTED, AND SOIL COMPACTION TESTING IS TO BE PERFORMED BY THE CONTRACTOR OR OTHER PROJECT OWNER'S REPRESENTATIVE (E.G., ENGINEER).
- A MINIMUM OF TWO (2) TESTS ARE TO BE PERFORMED FOR PROJECTS WITH AN OVERALL LIMIT OF DISTURBANCE OF UP TO ONE (1) ACRE AND AT A RATE OF TWO (2) TESTS PER ACRE OF THE OVERALL LIMIT OF DISTURBANCE FOR LARGER AREAS WHICH ARE TO BE EVENLY DISTRIBUTED OVER THE AREA OF DISTURBANCE SUBJECT TO TESTING.
- TESTS ARE TO BE PERFORMED IN AREAS REPRESENTATIVE OF THE CONSTRUCTION ACTIVITY PREVAILING IN THE AREA.
- IN THE EVENT THIS TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE TESTING METHOD, THE CONTRACTOR/OWNER WILL HAVE THE OPTION TO PERFORM COMPACTION MITIGATION OVER THE ENTIRE DISTURBED AREA (EXCLUDING EXEMPT AREAS) OR TO PERFORM ADDITIONAL TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION.
- SOIL TEST METHOD OPTIONS - THE OPTIONS THAT ARE PERMITTED ARE CONTAINED IN THE SSESCNJ, CHAPTER 19, WHICH PROVIDES SPECIFICATIONS FOR EACH OPTION THAT MUST BE FOLLOWED. THE OPTIONS INCLUDE THE FOLLOWING:
  - PROBING WIRE TEST METHOD
  - HANDHELD SOIL PENETROMETER TEST METHOD
  - TUBE BULK DENSITY TEST METHOD
  - NUCLEAR DENSITY TEST METHOD

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY

SOIL TYPE/TEXTURE	BULK DENSITY (G/CC)
COARSE, MEDIUM AND FINE SANDS AND LOAMY SANDS	1.80
VERY FINE SAND AND LOAMY VERY FINE SAND	1.77
SANDY LOAM	1.75
LOAM, SANDY CLAY LOAM	1.70
CLAY LOAM	1.65
SANDY CLAY	1.60
SILT, SILT LOAM	1.55
SILTY CLAY LOAM	1.50
SILTY CLAY	1.45
CLAY	1.40

SOURCE: USDA NATURAL RESOURCE CONSERVATION SERVICE, SOIL QUALITY INFORMATION SHEET, SOIL QUANTITY RESOURCE CONCERNS: COMPACTION, APRIL 1996.

E. ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATIONS, AND WHICH PRODUCE A DRY WEIGHT, SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED, SUBJECT TO DISTRICT PRE-APPROVAL.

10. PROCEDURES FOR SOIL COMPACTION MITIGATION  
IF SUBGRADE SOILS ARE DETERMINED TO BE EXCESSIVELY COMPACTED BY TESTING OPTION INDICATED ABOVE, PROCEDURES MUST BE IMPLEMENTED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER. RESTORATION OF COMPACTED SOILS IS TO BE THROUGH DEEP SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.) OR IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER.

11. INSTALLATION REQUIREMENTS  
A. TIMBER, LOGS, BRUSH, RUBBISH, ROCKS, STUMPS AND VEGETATIVE MATTER WHICH CAN INTERFERE WITH THE GRADING OPERATION OR AFFECT THE PLANNED STABILITY OR FILL AREAS MUST BE REMOVED AND DISPOSED OF ACCORDING TO THE PLAN.  
B. TOPSOIL IS TO BE STRIPPED AND STOCKPILED IN AMOUNTS NECESSARY TO COMPLETE FINISH GRADING OF ALL EXPOSED AREAS REQUIRING TOPSOIL. SSESCNJ STANDARD FOR TOPSOILING, PG. 8-1.  
C. TOPSOIL MUST BE APPLIED UNIFORMLY APPLIED TO AN AVERAGE DEPTH OF 5 INCHES, WITH A MINIMUM DEPTH OF 4 INCHES REQUIRED. IF SPECIAL REGULATIONS AND/OR INDUSTRY DESIGN STANDARDS ARE APPROPRIATE, ALTERNATE TOPSOIL DEPTHS MAY BE CONSIDERED. SEE SSESCNJ STANDARD FOR TOPSOILING, PG. 8-2.  
D. FILL MATERIAL IS TO BE FREE OF BRUSH, RUBBISH, TIMBER, LOGS, VEGETATIVE MATTER AND STUMPS IN AMOUNTS THAT CAN BE DETRIMENTAL TO CONSTRUCTING STABLE FILLS.  
E. ALL STRUCTURAL FILLS MUST BE COMPACTED AS DETERMINED BY STRUCTURAL ENGINEERING REQUIREMENTS FOR THEIR INTENDED PURPOSE AND AS REQUIRED TO REDUCE SLIPPING, EROSION OR EXCESSIVE SATURATION.  
F. ALL DISTURBED AREAS MUST BE LEFT WITH A NEAT AND FINISHED APPEARANCE AND MUST BE PROTECTED FROM EROSION. SEE SSESCNJ STANDARDS FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION, PG. 4-1.  
G. TREES TO BE RETAINED MUST BE PROTECTED AS NECESSARY IN ACCORDANCE WITH SSESCNJ STANDARD FOR TREE PROTECTION DURING CONSTRUCTION, PG. 3-1.  
12. UPON COMPLETION OF SOIL COMPACTION TESTING, A COMPLETED "SOIL COMPACTION MITIGATION VERIFICATION FORM", ALONG WITH TEST RESULTS, MUST BE SUBMITTED TO THE SOIL CONSERVATION DISTRICT PRIOR TO A REQUEST FOR A "REPORT OF COMPLIANCE INSPECTION".

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THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: J200460  
DRAWN BY: CR/JF  
CHECKED BY: BC  
DATE: 05/03/2021  
CAD ID: J200460-CDS-0A

PROJECT:  
**PRELIMINARY AND FINAL MAJOR SITE PLAN & MINOR SUBDIVISION PLAN**  
FOR  
**CSW AS VI CINNAMINSON URBAN RENEWAL L.P. C/O WESTRUM DEVELOPMENT COMPANY**  
PROPOSED SENIOR LIVING FACILITY  
MAP: 13 | BLK: 1304 | EXISTING LOT: 18  
PROPOSED LOTS: 18.01 & 18.02  
605 N.J.S.H. ROUTE 130  
TOWNSHIP OF CINNAMINSON  
BURLINGTON COUNTY, NEW JERSEY

**BOHLER**  
BOHLER ENGINEERING NJ, LLC  
30 INDEPENDENCE BLVD., SUITE 200  
WARREN, NJ 07059  
Phone: (908) 685-6300  
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www.BohlerEngineering.com  
NJ CERT. OF AUTHORIZATION NO. 24G28191700 & MH000122

**B.S. CROWDER**  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE No. 52267  
PENNSYLVANIA LICENSE No. 085764  
NEW YORK LICENSE No. 100602

SHEET TITLE:  
**SOIL EROSION & SEDIMENT CONTROL DETAILS**

SHEET NUMBER:  
**C-602**

ORG. DATE - 05/03/2021

C:\0320\200460\DRAWINGS\CURRENT DRAWINGS\SITE PLAN PACKAGE\000460-CDS-0A...LA\OUT\_C-602.ER03D





### OWNER MAINTENANCE RESPONSIBILITIES

UPON OWNER'S (OR OWNER CONTRACTOR'S) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, UPKEEP, WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION, PLANTS, TREES, BUSHES, SHRUBS, GRASSES, CRASS, ORNAMENTAL PLANTS AND FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS AND AREAS ADJACENT OR PART OF THE LANDSCAPED AREAS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:

- TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 8 FT. (FROM ALL PEDESTRIAN SURFACES) OR PRUNED BACK TO AVOID INTERFERENCE WITH THE TYPICAL PATH OF TRAVEL.
- TREES WITHIN VEHICULAR SIGHT LINES, AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED TO A CLEARANCE HEIGHT OF 8 FT. (FROM ALL PAVED, TRAVELED SURFACES), OR AS OTHERWISE INDICATED ON THE PLANS.
- VEGETATIVE GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED SO THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE OF ALL PAVED, TRAVEL SURFACES) ALONG AND WITHIN THE SIGHT LINES OF PARKING LOTS AND INGRESS-EGRESS WAYS.
- FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY FROM VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR ANY OTHER HAZARDS.

THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEES THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE.

### IRRIGATION NOTE

CONTRACTOR TO PROVIDE AN IRRIGATION DESIGN FOR BOTH LAWN AND BED AREAS. DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. CONTRACTOR TO VERIFY STATIC PRESSURE PRIOR TO DESIGN. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRESSURE REDUCING DEVICES REQUIRED TO MEET MAXIMUM PRESSURE REQUIREMENT. SYSTEM DESIGN IS TO SHOW ALL VALVES, PIPING, HEADS, BACKFLOW PREVENTION, METERS AND CONTROLLERS. ALL SLEEVES IN PAVEMENT AREAS MUST BE SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BACKFLOW PREVENTION DEVICE INSTALLATION AND PERMITTING.

### LANDSCAPE SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	CONT.
ARA	4	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG COLUMNAR RED MAPLE	2 1/2-3" CAL.	B+B
ARF	4	ACER RUBRUM 'FRANKSRED'	RED SUNSET MAPLE	2 1/2-3" CAL.	B+B
ZSM	8	ZELKOVA SERRATA 'MUSASHINO'	MUSASHINO ZELKOVA	2 1/2-3" CAL.	B+B
SUBTOTAL: 16					
ORNAMENTAL TREE(S)					
CK	6	CORNUS KOUSA	KOUSA DOGWOOD	6-10"	B+B
SUBTOTAL: 6					
EVERGREEN TREE(S)					
IO	19	ILEX OPACA	AMERICAN HOLLY	6-7"	B+B
PIAB	29	PICEA ABIES	NORWAY SPRUCE	6-7"	B+B
PM	16	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	6-7"	B+B
SUBTOTAL: 64					
DECIDUOUS SHRUB(S)					
CA	30	CLETHRA ALNIFOLIA	SUMMERSWEET CLETHRA	24-30"	CONTAINER
CS	27	CORNUS SERICEA (FORMERLY STOLONIFERA)	RED OSIER DOGWOOD	2-3"	B+B
FG	36	FOTHERGILLA GARDENII	DWARF FOTHERGILLA	24-30"	CONTAINER
SBAW	5	SPIRAEA X BUNALDA 'ANTHONY WATERER'	ANTHONY WATERER SPIREA	24-30"	CONTAINER
VA	27	VACCINIUM ANGUSTIFOLIUM	LOWBUSH BLUEBERRY	15-18"	CONTAINER
SUBTOTAL: 125					
EVERGREEN SHRUB(S)					
IGC	127	ILEX GLABRA 'COMPACTA'	DWARF INKBERRY HOLLY	36" MIN.	CONTAINER
IGS	75	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY HOLLY	24-30"	CONTAINER
JCS	10	JUNIPERUS CHINENSIS 'SPARTAN'	SPARTAN JUNIPER	6-7"	B+B
JHY	163	JUNIPERUS HORIZONTALIS 'YOUNGSTOWN'	ANDORRA JUNIPER	18-24" SPRD	CONTAINER
PXOL	57	PRUNUS LAUROCEASUS 'OTTO LUYKEN'	OTTO LUYKEN CHERRY LAUREL	4" MIN.	CONTAINER
TPG	75	THUJA PLICATA 'GREEN GIANT'	GREEN GIANT ARBORVITAE	10" MIN.	B+B
VR	61	VIBURNUM X RHYTIDOPHYLLUM	LEATHERLEAF VIBURNUM	3-4"	B+B
SUBTOTAL: 568					
PERENNIAL(S)					
RFG	95	RUDBECKIA FULGIDA 'GOLDSTURM'	GOLDSTURMBLACK-EYED SUSAN	2 GAL.	CONTAINER
SSM	45	SALVIA SUPERBA 'MAYNIGHT'	MAYNIGHT MEADOW SAGE	2 GAL.	CONTAINER
SUBTOTAL: 140					
ORNAMENTAL GRASSES					
CAKF	18	CALAMAGROSTIS ARUNDINACEA 'KARL LUTSTER'	FEATHER REED GRASS	2 GAL.	CONTAINER
PA	97	PENNISETUM ALOPECUROIDES	FOUNTAIN GRASS	2 GAL.	CONTAINER
PAH	142	PENNISETUM ALOPECUROIDES 'HAMELY'	DWARF FOUNTAIN GRASS	2 GAL.	CONTAINER
PVH	21	PANICUM VIRGATUM	SWITCH GRASS	2 GAL.	CONTAINER
SUBTOTAL: 278					

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN THE AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN WILL DICATE.

BLOCK 1304  
LOT 4  
N/F LANDS OF  
KIMBERLY MANCINI &  
KRISTINE PAINTER  
D.B. 13107, PG. 11

BLOCK 1304  
LOT 5  
N/F LANDS OF  
PETER & VICTORIA MULLIGAN  
D.B. 5463, PG. 173

BLOCK 1304  
LOT 6  
N/F LANDS OF  
JOANNE BRODZIK &  
ELIZABETH GILL  
D.B. 6339, PG. 476

BLOCK 1304  
LOT 7  
N/F LANDS OF  
MURIS & SABRINA DZAFIC  
D.B. 6717, PG. 582

BLOCK 1304  
LOT 8  
N/F LANDS OF  
ANGELITO PIERRE  
D.B. 13170, PG. 2303

BLOCK 1304  
LOT 9  
N/F LANDS OF  
WALTER F. CURRAN  
& MELISSA DANGLER  
D.B. 13095, PG. 5227

PROP. LOT 18.01  
(TOWNSHIP RETAINED LAND)  
AREA = 57,521 SF (1.320 AC)

PROP. LOT 18.02  
(WESTRUM)  
AREA = 156,216 SF (3.587 AC)

PROPOSED 3-STORY BUILDING  
FOOTPRINT: ±54,219 SF  
102 PARKING SPACES PROVIDED  
142 UNITS  
(INCLUDE UP TO 163 BEDS)

ALL PROP. LANDSCAPE BEDS ARE TO BE TREATED WITH A 3" THICK LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH (TYP.)

ALL PROP. LANDSCAPE BEDS ARE TO BE TREATED WITH A 3" THICK LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH (TYP.)

530' SIGHT TRIANGLE PER AASHTO TABLE 6-A (DESIGN SPEED LIMIT = POSTED SPEED LIMIT + 5MPH = 55 MPH)

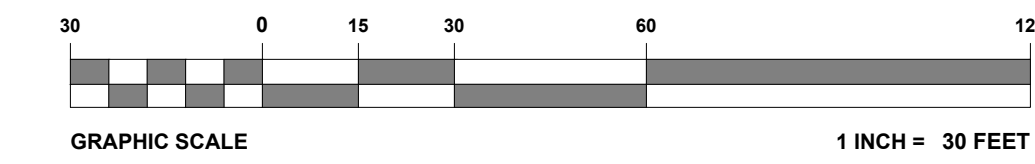
## NEW JERSEY STATE HIGHWAY U.S. ROUTE NO. 130

(ASPHALT ROADWAY)  
(63' WIDE)

REFER TO LANDSCAPE NOTES & DETAILS SHEET

REFER TO NOTES AND REFERENCES SHEET FOR ADDITIONAL NOTES, REFERENCES AND SPECIFICATIONS.

THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY



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PROJECT No.: J200460  
DRAWN BY: CRJ/F  
CHECKED BY: BC  
DATE: 05/03/2021  
CAD ID: J200460-LND-0A

PROJECT:  
**PRELIMINARY AND FINAL MAJOR SITE PLAN & MINOR SUBDIVISION PLAN**  
FOR  
**CSW AS VI CINNAMINSON URBAN RENEWAL L.P. C/O WESTRUM DEVELOPMENT COMPANY**  
PROPOSED SENIOR LIVING FACILITY  
MAP: 13 | BLK: 1304 | EXISTING LOT: 18  
PROPOSED LOTS: 18.01 & 18.02  
605 N.J.S.H. ROUTE 130  
TOWNSHIP OF CINNAMINSON  
BURLINGTON COUNTY, NEW JERSEY

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Fax: (908) 724-4401  
www.BohlerEngineering.com  
NJ CERT. OF AUTHORIZATION NO. 24GA28191700 & M64000122

**B.S. CROWDER**  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE NO. 52263  
PENNSYLVANIA LICENSE NO. 085764  
NEW YORK LICENSE NO. 100602

SHEET TITLE:  
**LANDSCAPE PLAN**  
SHEET NUMBER:  
**C-701**  
ORG. DATE - 05/03/2021





### LUMINAIRE SCHEDULE

SYMBOL	QTY	LABEL	MTG. HT.	TOTAL FIXT. HT.	DESCRIPTION	ARRNGMT.	LUMENS	LLF	COLOR TEMP.	IES FILENAME	CATALOG #
	3	A-1 HSS	23.667'	24'	PANTHEON LIGHTING PAF3 SERIES LED AREA LIGHT W/ HOUSE SIDE SHIELD VISOR	SINGLE	19,292	0.900	5000K	PAF3-225W-50K-T4-VISOR-IES	PAF3-225W-50K-UNV-T4-C-BRZ-ARM-MS-RPADPT-VISOR
	1	A-2	23.667'	24'	PANTHEON LIGHTING PAF3 SERIES LED AREA LIGHT	SINGLE	23,888	0.900	5000K	PAF3-167W-50K-T4-IES	PAF3-167W-50K-UNV-T4-C-BRZ-ARM-MS-RPADPT
	4	A-2 HSS	23.667'	24'	PANTHEON LIGHTING PAF3 SERIES LED AREA LIGHT W/ HOUSE SIDE SHIELD VISOR	SINGLE	12,756	0.900	5000K	PAF3-167W-50K-T4-VISOR-IES	PAF3-167W-50K-UNV-T4-C-BRZ-ARM-MS-RPADPT-VISOR
	2	A-3	23.667'	24'	PANTHEON LIGHTING PAF3 SERIES LED AREA LIGHT	BACK-TO-BACK	23,888 (X2)	0.900	5000K	PAF3-167W-50K-T4-IES	PAF3-167W-50K-UNV-T4-C-BRZ-ARM-MS-RPADPT

NOTES: 1. ANY EXISTING STREET LIGHTS HAVE NOT BEEN MODELED FOR THIS DESIGN.  
 2. EXISTING SITE AREA LIGHTS ALONG THE ACCESS DRIVE ALONG N.J.S.H.R. 130 HAVE BEEN MODELED FOR THIS DESIGN AND HAVE BEEN LABELED AS 'EXIST'. ALL OTHER EXISTING SITE AREA LIGHTS HAVE NOT BEEN MODELED FOR THIS DESIGN.  
 3. ANY EXISTING BUILDING MOUNTED LIGHTS HAVE NOT BEEN MODELED FOR THIS DESIGN.  
 4. ANY PROPOSED ARCHITECTURAL BUILDING MOUNTED LIGHTS HAVE NOT BEEN MODELED FOR THIS DESIGN.

### TOWNSHIP REQUIREMENTS

PER SECTION: CHAPTER 411 REDEVELOPMENT - §12 ARCHITECTURAL DESIGN STANDARDS - 411-12(B)(1) LIGHTING

LOCATION	REQUIRED	PROPOSED
MINIMUM ILLUMINATION FOR SURFACE PARKING - VEHICLE TRAFFIC (LOW ACTIVITY)	0.5 FC	0.7 FC (COMPLIES)
MINIMUM ILLUMINATION FOR SURFACE PARKING - PEDESTRIAN SAFETY (LOW ACTIVITY)	0.2 FC	0.7 FC (COMPLIES)
MINIMUM ILLUMINATION FOR SURFACE PARKING - PEDESTRIAN SECURITY (LOW ACTIVITY)	0.5 FC	0.7 FC (COMPLIES)
MINIMUM ILLUMINATION WITHIN PARKING LOTS	0.5 FC	0.7 FC (COMPLIES)
AVERAGE TO MINIMUM RATIO ILLUMINATION WITHIN PARKING LOTS	4:1	3.99:1 (COMPLIES)
MAXIMUM TO MINIMUM RATIO WITHIN PARKING LOTS	10:1	9.43:1 (COMPLIES)
MINIMUM AVERAGE ILLUMINATION FOR SIDEWALKS	0.5 FC	2.88 FC (COMPLIES)
MAXIMUM FIXTURE HEIGHT (PARKING LOTS)	24'	24' (COMPLIES)

PER SECTION: CHAPTER 525 ZONING - §110 SUBMISSION REQUIREMENTS AND DESIGN STANDARDS FOR SITE PLANS - 525-110(C) LIGHTING

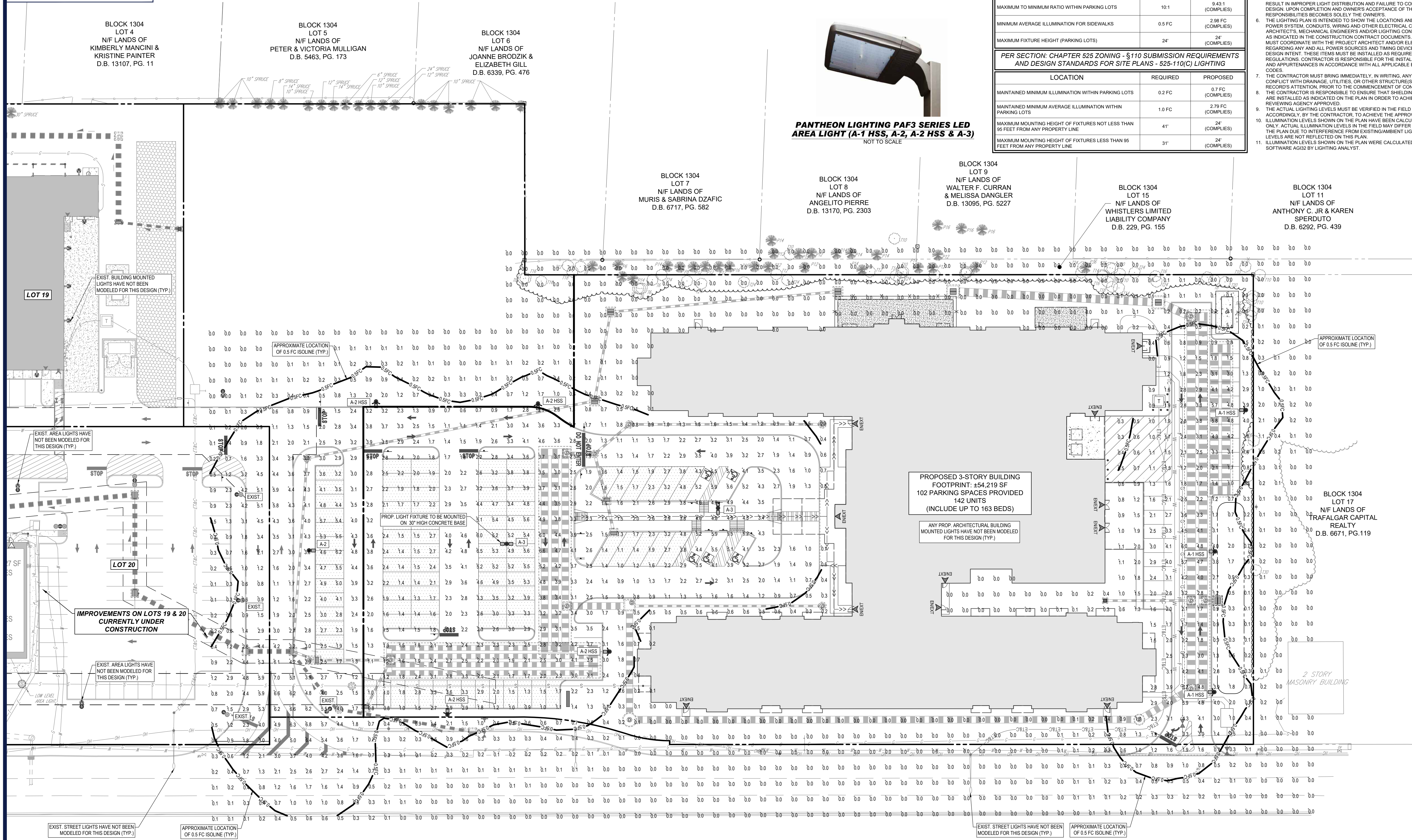
LOCATION	REQUIRED	PROPOSED
MAINTAINED MINIMUM ILLUMINATION WITHIN PARKING LOTS	0.2 FC	0.7 FC (COMPLIES)
MAINTAINED MINIMUM AVERAGE ILLUMINATION WITHIN PARKING LOTS	1.0 FC	2.79 FC (COMPLIES)
MAXIMUM MOUNTING HEIGHT OF FIXTURES NOT LESS THAN 95 FEET FROM ANY PROPERTY LINE	41'	24' (COMPLIES)
MAXIMUM MOUNTING HEIGHT OF FIXTURES LESS THAN 95 FEET FROM ANY PROPERTY LINE	31'	24' (COMPLIES)

### LIGHTING NOTES

- THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES. IN THEIR ENTIRETY, THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.
- THE LIGHTING CONTRACTOR MUST COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE PLANS, INCLUDING BUT NOT LIMITED TO GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL AGENCY AND GOVERNMENTAL REGULATIONS.
- THE LIGHTING PLAN DEPICTS PROPOSED, SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER. ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT GROUND LEVEL UNLESS OTHERWISE NOTED.
- THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT IS NOT LIMITED TO VISUAL OBSERVATION, CLEANING OF LENSES, AND REPLACING ACCORDING TO MANUFACTURER RECOMMENDATIONS. FAILURE TO FOLLOW THE ABOVE STEPS COULD RESULT IN IMPROPER LIGHT DISTRIBUTION AND FAILURE TO COMPLY WITH THE APPROVED DESIGN. UPON COMPLETION AND OWNER'S ACCEPTANCE OF THE WORK, THE ABOVE RESPONSIBILITIES BECOMES SOLELY THE OWNERS.
- THE LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES, POWER SYSTEM, CONDUITS, WIRING AND OTHER ELECTRICAL COMPONENTS ARE SOLELY THE ARCHITECT'S, MECHANICAL ENGINEERS AND/OR LIGHTING CONTRACTOR'S RESPONSIBILITY, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THE LIGHTING CONTRACTOR MUST COORDINATE WITH THE PROJECT ARCHITECT AND/OR ELECTRICAL ENGINEER REGARDING ANY AND ALL POWER SOURCES AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES.
- THE CONTRACTOR MUST BRING IMMEDIATELY, IN WRITING, ANY LIGHT LOCATIONS THAT CONFLICT WITH (DRAINAGE UTILITIES, OR OTHER STRUCTURES) TO THE ENGINEER OF RECORD'S ATTENTION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT SHIELDING AND OR ROTATED OPTICS ARE INSTALLED AS INDICATED ON THE PLAN IN ORDER TO ACHIEVE THE LIGHTING LEVELS THE REVIEWING AGENCY APPROVED.
- THE ACTUAL LIGHTING LEVELS MUST BE VERIFIED IN THE FIELD AND FIXTURES ADJUSTED ACCORDINGLY BY THE CONTRACTOR TO ACHIEVE THE APPROVED LIGHT LEVELS.
- ILLUMINATION LEVELS SHOWN ON THE PLAN HAVE BEEN CALCULATED FOR PROPOSED LIGHTS ONLY. ACTUAL ILLUMINATION LEVELS IN THE FIELD MAY DIFFER FROM THOSE DEPICTED ON THE PLAN DUE TO INTERFERENCE FROM EXISTING/AMBIENT LIGHTS WHOSE ILLUMINATION LEVELS ARE NOT REFLECTED ON THIS PLAN.
- ILLUMINATION LEVELS SHOWN ON THE PLAN WERE CALCULATED WITH LIGHTING DESIGN SOFTWARE AG32 BY LIGHTING ANALYST.



PANTHEON LIGHTING PAF3 SERIES LED AREA LIGHT (A-1 HSS, A-2, A-2 HSS & A-3)  
NOT TO SCALE



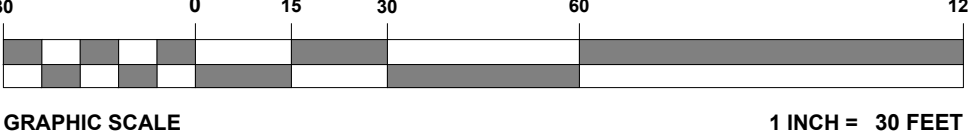
## NEW JERSEY STATE HIGHWAY U.S. ROUTE NO. 130

(ASPHALT ROADWAY)  
(85' WIDE)  
(50 MPH POSTED SPEED LIMIT)

REFER TO DETAIL SHEET FOR ISOLUX DIAGRAMS, LIGHT POLE SPECIFICATION & LIGHT POLE FOUNDATION DETAIL

REFER TO NOTES AND REFERENCES SHEET FOR ADDITIONAL NOTES, REFERENCES AND SPECIFICATIONS.

THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY



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#### REVISIONS

REV	DATE	COMMENT	DRAWN BY

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ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

PROJECT No.: J200460  
DRAWN BY: CRU/F  
CHECKED BY: BC  
DATE: 05/03/2024  
CAD ID: J200460-LGT-0A

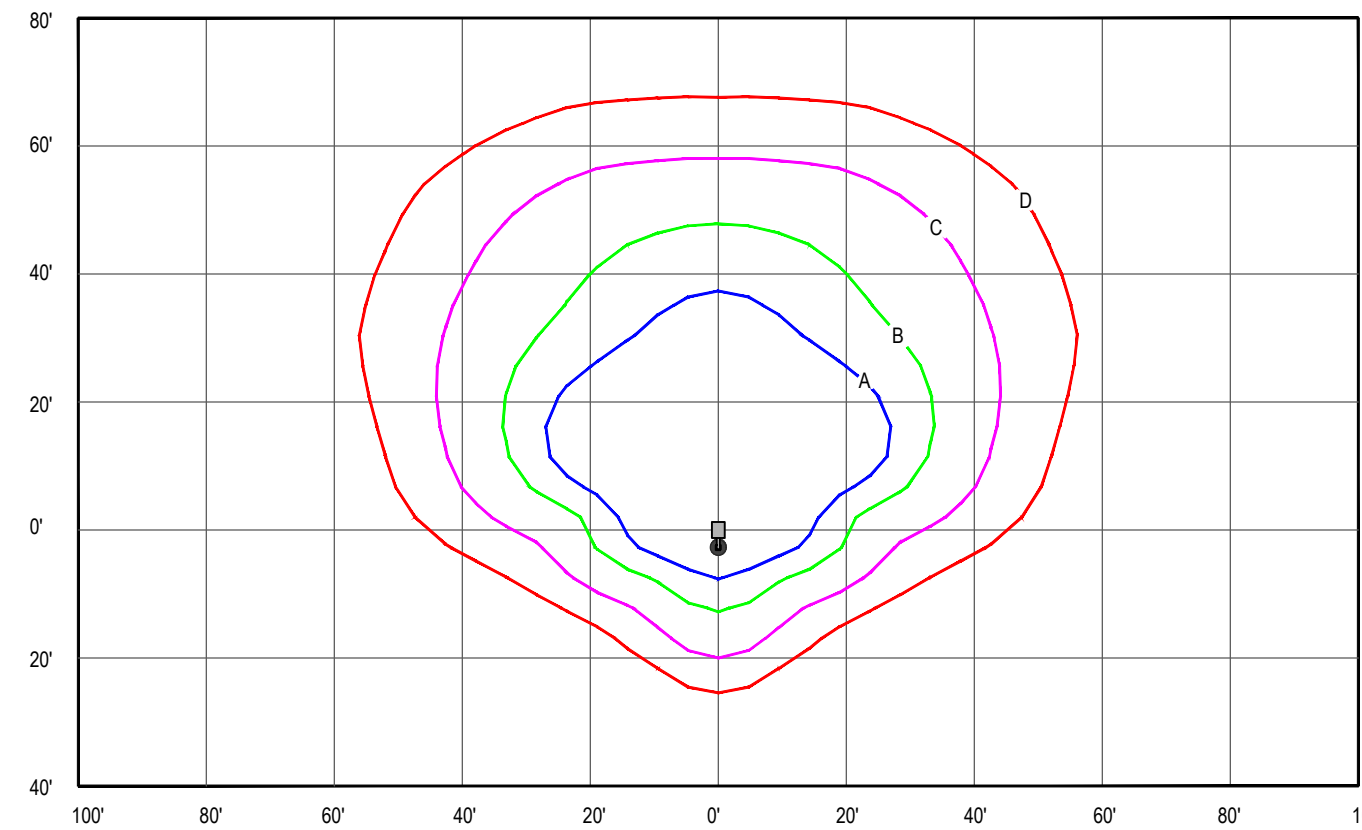
PROJECT:  
**PRELIMINARY AND FINAL MAJOR SITE PLAN & MINOR SUBDIVISION PLAN**  
FOR  
**CSW AS VI CINNAMINSON URBAN RENEWAL L.P. C/O WESTRUM DEVELOPMENT COMPANY**  
PROPOSED SENIOR LIVING FACILITY  
MAP: 13 | BLK: 1304 | EXISTING LOT: 18  
PROPOSED LOTS: 18.01 & 18.02  
605 N.J.S.H. ROUTE 130  
TOWNSHIP OF CINNAMINSON  
BURLINGTON COUNTY, NEW JERSEY

**BOHLER**  
BOHLER ENGINEERING NJ, LLC  
30 INDEPENDENCE BLVD., SUITE 200  
WARREN, NJ 07059  
Phone: (908) 665-6300  
Fax: (908) 764-4401  
www.BohlerEngineering.com  
NJ CERT. OF AUTHORIZATION NO. 24GAS191700 & M46000122

**B.S. CROWDER**  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE No. 52263  
PENNSYLVANIA LICENSE No. 085764  
NEW YORK LICENSE No. 100602

SHEET TITLE:  
**LIGHTING PLAN**  
SHEET NUMBER:  
**C-703**  
ORG. DATE - 05/03/2024

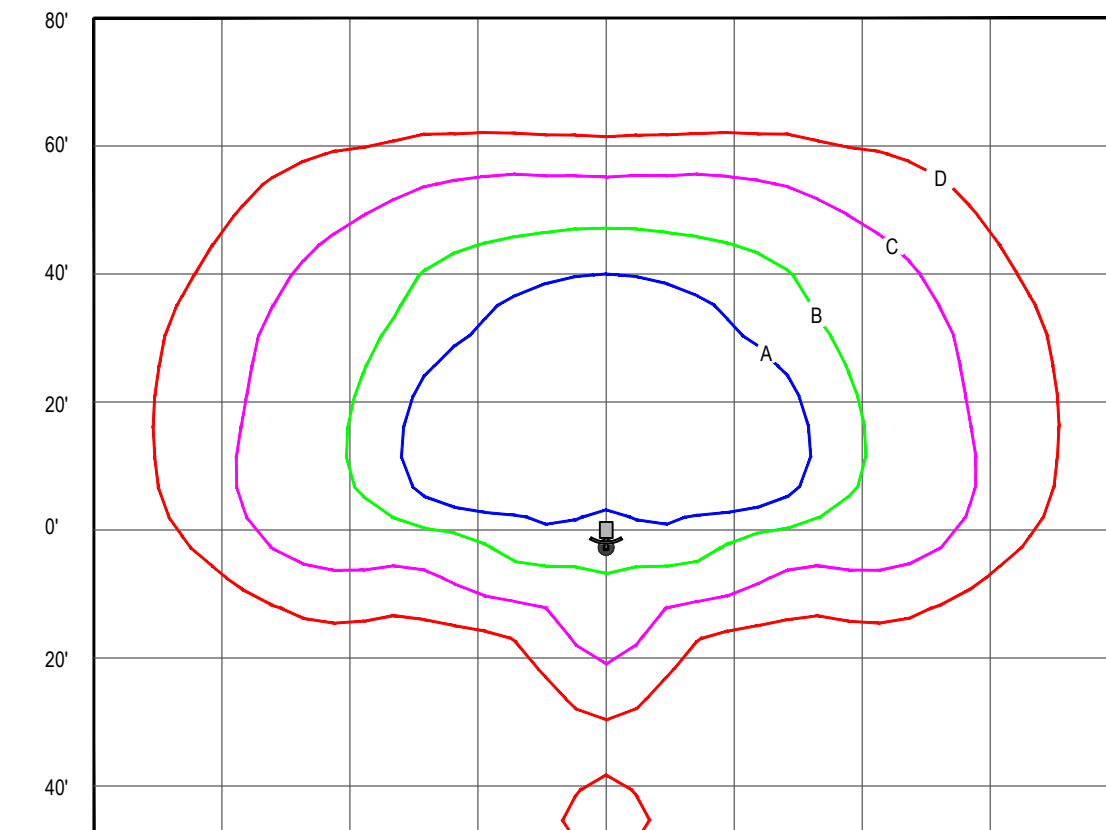
G:\2024\202406\DRAWINGS\CURRENT DRAWINGS\SITE PLAN PACKAGE\202406-LGT-0A-1-LAYOUT\_C-703.LGT



MTG. HTS.	INITIAL HORIZONTAL FOOTCANDLES			
	A	B	C	D
23.667	3.0	2.0	1.0	0.5

AIMING ANGLE: 0 DEG. FROM NADIR

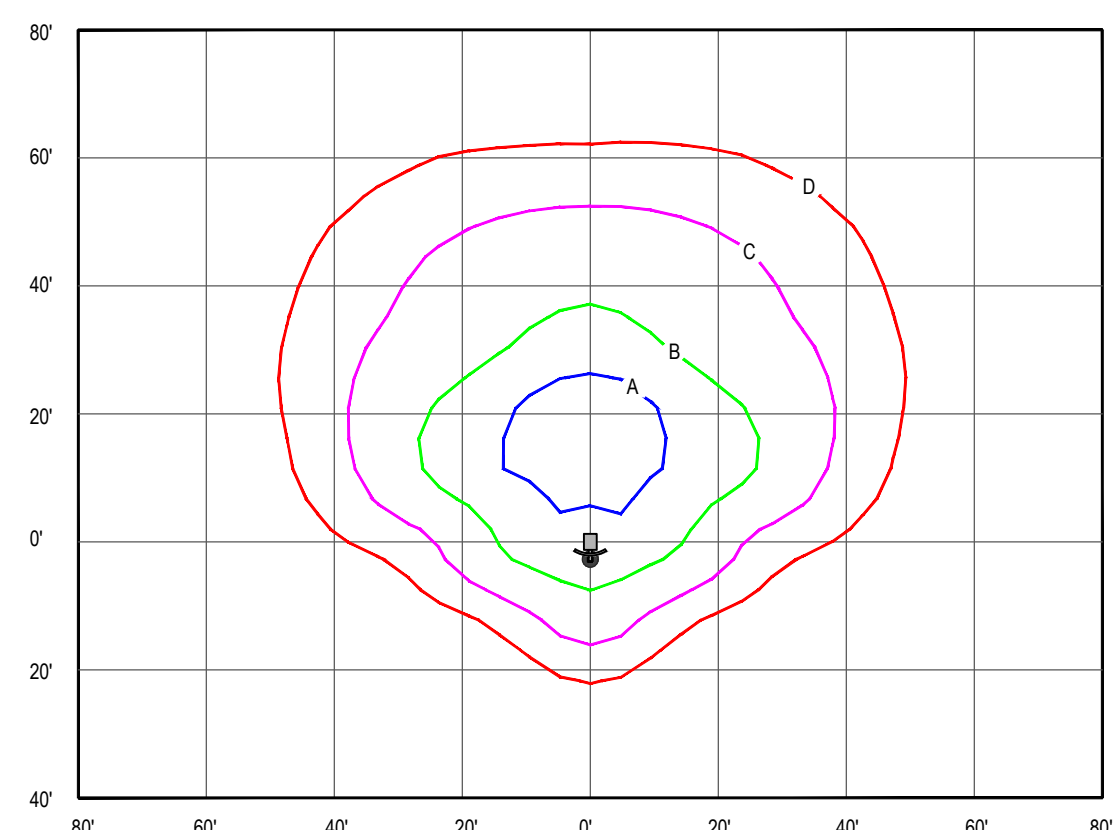
**PANTHEON LIGHTING PAF3 SERIES LED AREA LIGHT (A-1 HSS)**



MTG. HTS.	INITIAL HORIZONTAL FOOTCANDLES			
	A	B	C	D
23.667	3.0	2.0	1.0	0.5

AIMING ANGLE: 0 DEG. FROM NADIR

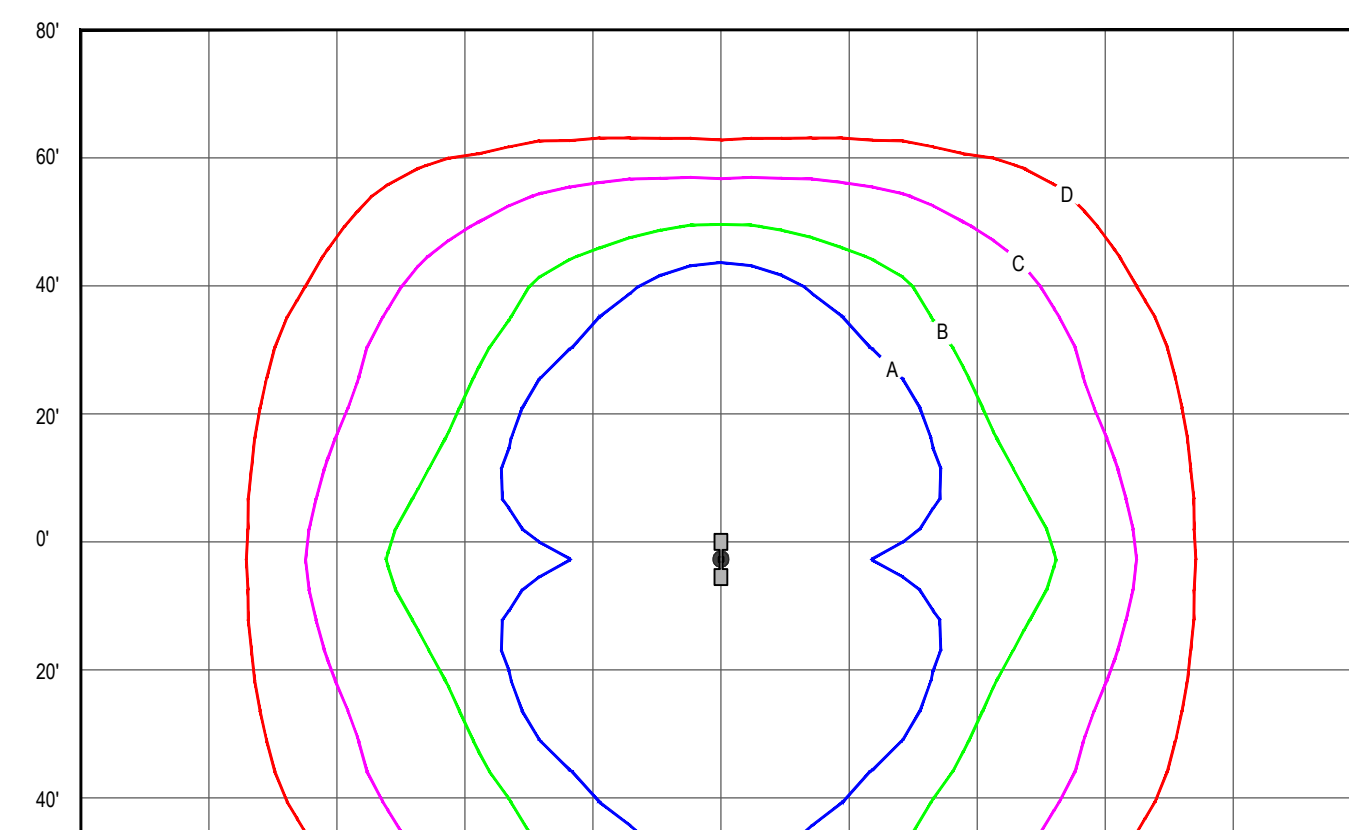
**PANTHEON LIGHTING PAF3 SERIES LED AREA LIGHT W/ HOUSE SIDE SHIELD VISOR (A-2)**



MTG. HTS.	INITIAL HORIZONTAL FOOTCANDLES			
	A	B	C	D
23.667	3.0	2.0	1.0	0.5

AIMING ANGLE: 0 DEG. FROM NADIR

**PANTHEON LIGHTING PAF3 SERIES LED AREA LIGHT W/ HOUSE SIDE SHIELD VISOR (A-2 HSS)**



MTG. HTS.	INITIAL HORIZONTAL FOOTCANDLES			
	A	B	C	D
23.667	3.0	2.0	1.0	0.5

AIMING ANGLE: 0 DEG. FROM NADIR

**PANTHEON LIGHTING PAF3 SERIES LED AREA LIGHT (A-3)**

2

**LIGHT POLE FOUNDATION DETAIL**

NOT TO SCALE (10/2011 - 04/2019) (MODIFIED)

**RDSS**  
Round Straight Steel Pole

**DESCRIPTION**

Pantheon steel poles are ideal for commercial, industrial, municipal, and retail applications requiring a high-quality and cost-effective pole to support lighting, banners, security devices, and other pole-mounted site elements. Pantheon poles are made of weldable grade-cool-treated carbon steel tubing conforming to ASTM A500 Grade B. Fabricated to the highest standards, Pantheon poles come in round and square straight steel versions as well as round tapered to meet your application needs. Hot-rolled carbon steel bases with anchor bolts ensure a strong and dependable mounting. Standard or custom drill mount and tension mount options are easy to specify along with crossarms and coupling options and electrical box details for a complete offering.

Date: \_\_\_\_\_ Type: Pole Catalog Number: 25-RDSS-110-5-BRZPC-D1  
25-RDSS-110-5-BRZPC-D2

Project Name: LIDL

**ORDERING INFORMATION**

HEIGHT	MODEL	GAUGE	BUTT DIA.	FINISH	MOUNTING OPTIONS	ELECTRICAL BOX*	ACCESSORIES
8'	RDSS	11G	3"	EPIC Black Powder Coat	D0 No Drilling	EB24A 24" Up @ 90°	TC5 Threaded Coupling 1"
10'		7S	4"	WPC White Powder Coat	D1 18" Sp	EB24C 24" Up @ 230°	TC7S Threaded Coupling 1"
12'		4.5		BRZPC Black Drains Powder Coat	D2 24" Sp @ 90°	EB24D 24" Up @ 90°	TC1 Threaded Coupling 1"
14'		5		EPIC Gray Powder Coat	D3 30" Sp @ 90°	EB24E 30" Up @ 90°	EBW Extra Hardware (Specify Location)
16'				GO Galvanized Only	D4 36" Sp @ 90°	EB24F 36" Up @ 90°	SFD Square SFD Backpacks with Cover
18'				WPCOG White Powder Coat Over Galvanized	D5 36" Sp @ 90°	EB24G 36" Up @ 230°	GFOU1 Square SFD Backpacks with 1/2" Dia. Cover
20'				WPCOG White Powder Coat Over Galvanized	D6 48" Sp @ 90°	EB24H 48" Up @ 90°	
22'				BRZPCOG Black Drains Powder Coat Over Galvanized	DC Custom Drilling	EB24I 30" Up @ 90°	
25'				OPCG Gray Powder Coat Over Galvanized	2.375IN	EB24J 30" Up @ 90°	
30'				CPKC Custom Color Powder-BB&L or Sunken Color (Dep)	2.875IN	EB24K 30" Up @ 230°	
35'					3.5IN	EB24L 30" Up @ 90°	
40'					4IN	EB24M 30" Up @ 90°	
					4" O.D. x 4" Dia	EB24N Custom (Specify Height and Orientation)	
					CT Custom Tension		

\*All Backpacks System Available - Specify in Accessories

**CONTRACTOR TO FIELD CUT POLE (AS REQUIRED) FOR ALL AREA LIGHT FIXTURES LOCATED ON A 30" HIGH CONCRETE BASE TO ENSURE MAXIMUM HEIGHT IS COMPLIANT PER APPROVED CONDITIONS. ALL LIGHT POLES PROPOSED BEHIND CURBS ARE REQUIRED TO BE A MINIMUM OF 2.5 FEET BEHIND CURB LINES.**

**CONTRACTOR TO COORDINATE LIGHT POLE SPECIFICS W/ MANUFACTURER LIGHT POLE COLOR TO MATCH FIXTURE: BRONZE**

**LIGHT POLE SPECIFICATION**  
NOT TO SCALE SOURCE: PANTHEON LIGHTING

3

**LIGHT POLE FOUNDATION SCHEDULE**

MAXIMUM HEIGHT ABOVE GRADE "A" **	24'-0"
ASSUMED AVERAGE POLE DIAMETER "B"	8"
# OF FIXTURES	DOUBLE
MINIMUM FOUNDATION DIAMETER "C"	24"
MINIMUM FOUNDATION DEPTH "D"	6'-6"
REINFORCING TIES "E" *	#3 TIES @ 12" C-C (6) #6 BARS EQUALLY SPACED
VERTICAL HOOKED REINFORCEMENT "F"	

\* = ADD 3 TIES, 4" C.C. AT TOP OF THE FOUNDATION  
\*\* = THIS MAY NOT BE ACTUAL MOUNTING HEIGHT, SEE LIGHTING SCHEDULE

**LIGHT POLE FOUNDATION NOTES**

- THE CONTRACTOR MUST VERIFY ALL DIMENSIONS AND CONDITIONS. COORDINATE WITH ALL CONTRACT DRAWINGS, PROJECT SHOP DRAWINGS AND FIELD CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR MUST ENSURE NO CONFLICTS ARISE BETWEEN LIGHT POLE FOUNDATIONS, STRUCTURES, AND UTILITIES. IF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND DESIGN PLANS ARISE, THE ENGINEER MUST BE NOTIFIED IMMEDIATELY IN WRITING.
- THE CONTRACTOR IS TO HAVE A GEOTECHNICAL ENGINEER, LICENSED IN THE PROJECT'S STATE, ON SITE TO INSPECT FILL, MONITOR FILL COMPACTION AND TO VERIFY SUBGRADE ALLOWABLE BEARING CAPACITY AND SOIL DESIGN CRITERIA PRIOR TO CONSTRUCTION IN ACCORDANCE TO THE DESIGN ASSUMPTIONS STATED UNSUITABLE MATERIALS FOUND MUST BE REMOVED OR BE REMEDIATED AS PER THE DIRECTION OF THE ON SITE GEOTECHNICAL ENGINEER.
- IF CONDITIONS IN THE FIELD ARE DIFFERENT THAN THOSE INDICATED, THE CONTRACTOR IS TO IMMEDIATELY NOTIFY THE ENGINEER IN WRITING.
- CONTRACTOR IS RESPONSIBLE TO ENSURE THAT APPROPRIATE SELECT BACKFILL IS USED, AND THOROUGHLY COMPACTED TO 98% MAX. DENSITY ASTM D 698.
- STRUCTURAL CONCRETE AND CONCRETING PRACTICES SHALL CONFORM WITH ACI-318, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE. DETAILS ARE TO BE IN ACCORDANCE WITH ACI-315, "MANUAL OF STANDARD PRACTICE: DETAILS AND DETAILING OF CONCRETE REINFORCEMENT" FORM WORK SHALL CONFORM ACI-307 "GUIDE TO FORM WORK FOR CONCRETE", UNLESS OTHERWISE NOTED ON THE CONTRACT DOCUMENTS.
- CONCRETE MUST BE NORMAL WEIGHT STONE AGGREGATE WITH THE STATED MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS. HISTORICAL DATA OR LABORATORY TESTS FOR THE PRELIMINARY DESIGN MIX IS TO BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION. THE WATER-CEMENT RATIO FOR THE PROPOSED MIX DESIGN MUST ACHIEVE AN AVERAGE 28-DAY STRENGTH OF 1,200 PSI GREATER THAN THE REQUIRED STRENGTH ON LABORATORY TEST RESULTS.
- CONCRETE IS TO HAVE A SLUMP NO GREATER THAN 4" TO WITHIN A TOLERANCE OF 1".
- EXPOSED CONCRETE IS TO BE AIR ENTRAINED, 6% (WITHIN 1% TOLERANCE), CONFORMING TO ASTM C260.
- CONCRETE TO BE CONSOLIDATED IN PLACE USING AN INTERNAL VIBRATOR.
- REINFORCING STEEL BARS SHALL BILLET STEEL ASTM A615, GRADE 60. ALL REINFORCEMENT TO BE SECURELY HELD IN PLACE WHILE PLACING CONCRETE. IF REQUIRED, ADDITIONAL BARS OR STIRRUPS TO BE PROVIDED BY THE CONTRACTOR TO FURNISH SUPPORT FOR ALL BARS. BARS SUPPORTS IN CONTACT WITH EXPOSED SURFACES TO BE PLASTIC TIPPED. ALL ACCESSORIES MUST BE GALVANIZED.
- ALL SPLICES OF REINFORCING BARS NOT INDICATED ARE TO BE LAPS AS PER THE REINFORCING SPLICE SCHEDULE OR 40 BAR DIAMETERS. DISCONTINUOUS ENDS OF CONTINUOUS BARS ARE TO BE STANDARD HOOKS.
- IF CAVING OF DRILLED HOLES ARE ENCOUNTERED, CONTRACTOR SHALL PROVIDE BENTONITE SLURRY IN PERMANENT CASINGS FOR DRILLED CONCRETE PIER FOUNDATIONS.
- CONCRETE MUST ATTAIN 80% OF THE DESIGN STRENGTH OR CURE FOR A MINIMUM OF 7-DAYS PRIOR TO THE INSTALLATION OF THE LIGHT POLES OR ALL LIGHT POLES ARE TO BE SUITABLY BRACED AGAINST WIND LOADS DURING THE ABOVE MENTIONED TIMEFRAME.
- ALL ELECTRICAL COMPONENTS TO COMPLY WITH N.E.C.
- WHEN 2'-6" CLEARANCE CAN NOT BE PROVIDED, CONCRETE FOUNDATION MUST BE EXTENDED TO 30" ABOVE SURFACE, OR PROVIDE BOLLARD PROTECTION FOR LIGHT POLE.
- VERIFY WITH LOCATIONS SHOWN ON LIGHTING PLAN
- CONTRACTOR IS TO RECORD ON A CLEAN COPY OF THE LIGHTING PLANS. THE LOCATION OF CONDUIT SUPPLYING POWER TO LIGHTS. A COMPLETED COPY OF THIS RECORD PLAN IS TO BE PROVIDED TO THE OWNER PRIOR TO FINAL ACCEPTANCE OF THE WORK.
- UPON ACCEPTANCE OF THE COMPLETED WORK BY THE OWNER, THE OWNER IS RESPONSIBLE FOR APPROPRIATE MAINTENANCE OF THE LIGHTING SYSTEM

**1** **ISOLUX DIAGRAMS** SCALE: 1" = 30'

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**REVISIONS**

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PROJECT No.:	J200460
DRAWN BY:	CR/JF
CHECKED BY:	BC
DATE:	05/03/2024
CAD LD.:	J200460-LGT-0A

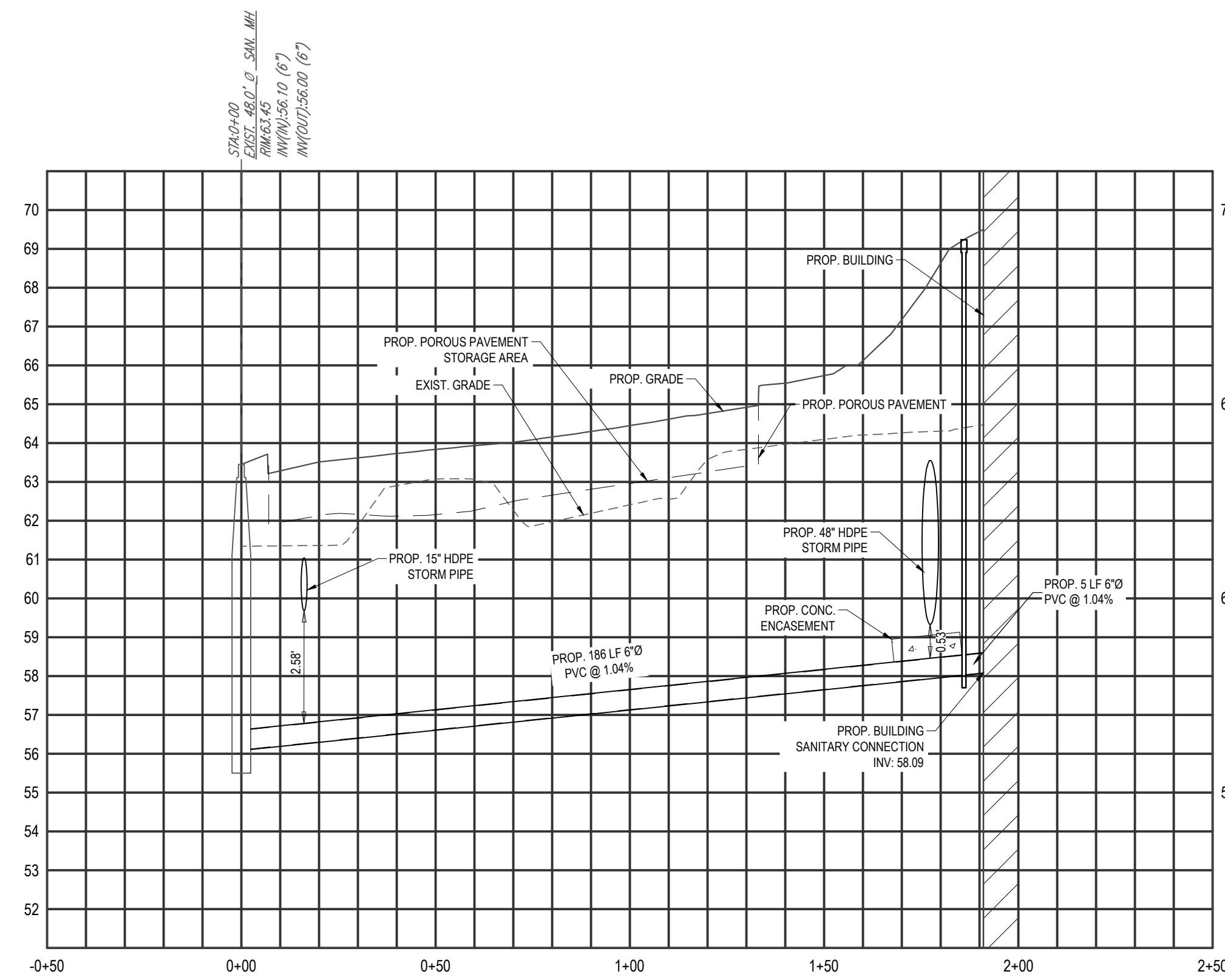
**PRELIMINARY AND FINAL MAJOR SITE PLAN & MINOR SUBDIVISION PLAN**  
FOR  
**CSW AS VI CINNAMINSON URBAN RENEWAL L.P. C/O WESTRUM DEVELOPMENT COMPANY**  
PROPOSED SENIOR LIVING FACILITY  
MAP: 13 | BLK: 1304 | EXISTING LOT: 18  
PROPOSED LOTS: 18.01 & 18.02  
605 N.J.S.H. ROUTE 130  
TOWNSHIP OF CINNAMINSON  
BURLINGTON COUNTY, NEW JERSEY

**BOHLER**  
BOHLER ENGINEERING NJ, LLC  
30 INDEPENDENCE BLVD., SUITE 200  
WARREN, NJ 07059  
Phone: (908) 666-6300  
Fax: (908) 764-4401  
www.BohlerEngineering.com  
NJ CERT. OF AUTHORIZATION NO. 24GAS28191700 & MH000122

**B.S. CROWDER**  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE NO. 52263  
PENNSYLVANIA LICENSE NO. 086764  
NEW YORK LICENSE NO. 100602

**LIGHTING NOTES & DETAILS**  
SHEET NUMBER:  
**C-704**  
ORG. DATE - 05/03/2024

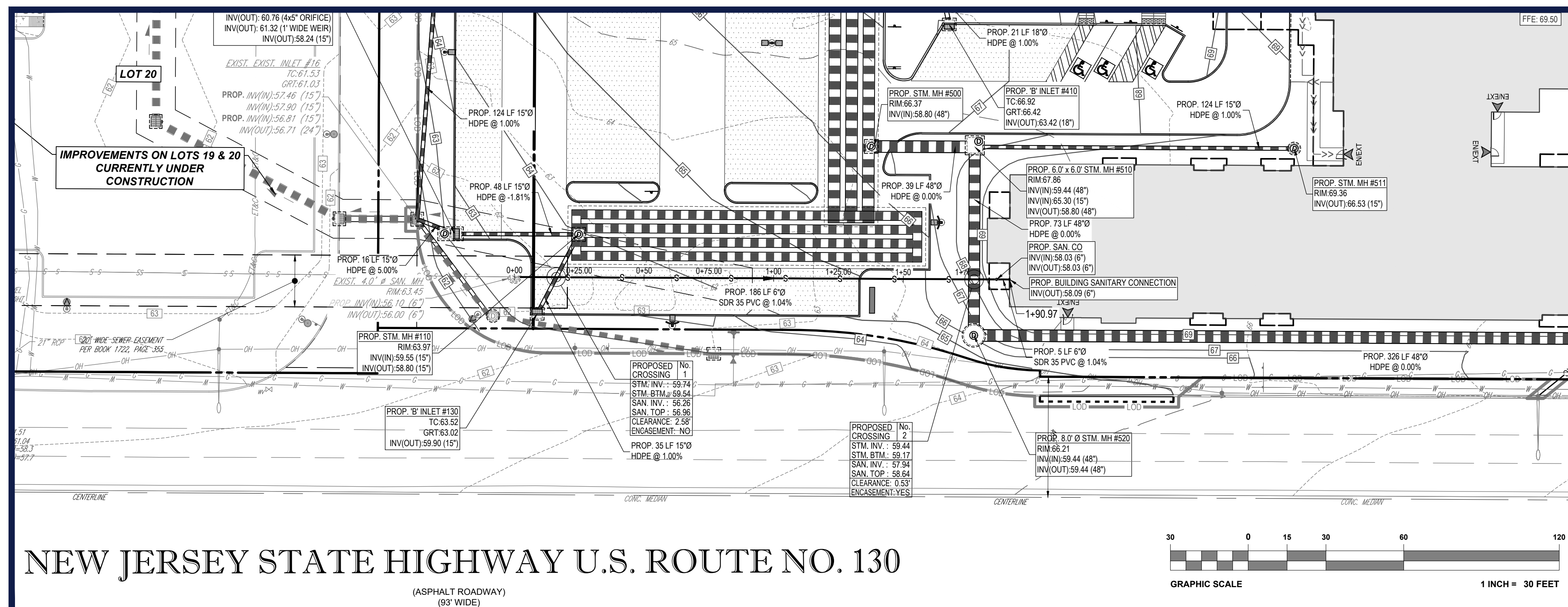
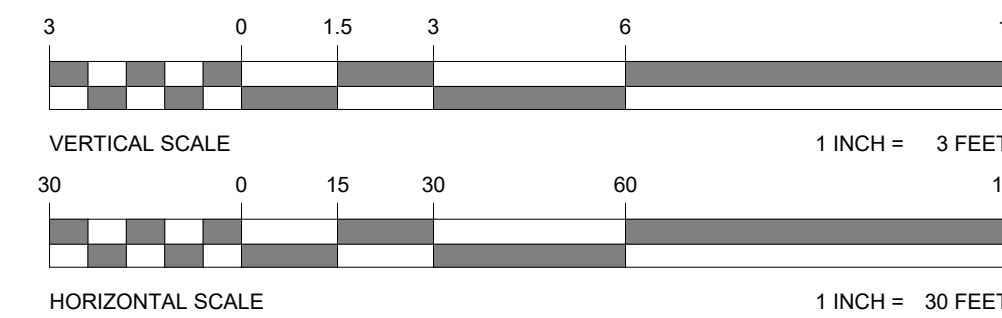
**THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY**



DATUM ELEV  
51.00

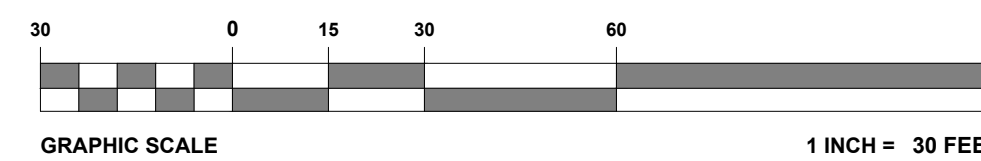
**PROPOSED SANITARY PROFILE**

SCALE: 1" = 30' HORIZONTAL  
1" = 3' VERTICAL



**NEW JERSEY STATE HIGHWAY U.S. ROUTE NO. 130**

(ASPHALT ROADWAY)  
(60' WIDE)



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THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: J200460  
DRAWN BY: CR/JF  
CHECKED BY: BC  
DATE: 05/03/2021  
CAD I.D.: J200460-PPS-0A

**PRELIMINARY AND FINAL MAJOR SITE PLAN & MINOR SUBDIVISION PLAN**

FOR  
**CSW AS VI CINNAMINSON URBAN RENEWAL L.P. C/O WESTRUM**  
DEVELOPMENT COMPANY  
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PROPOSED LOTS: 18.01 & 18.02  
605 N.J.S.H. ROUTE 130  
TOWNSHIP OF CINNAMINSON  
BURLINGTON COUNTY, NEW JERSEY

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WARREN, NJ 07059  
Phone: (908) 685-6300  
Fax: (908) 724-4401  
www.BohlerEngineering.com

NJ CERT. OF AUTHORIZATION NO. 246A28161700 & M46000122

**B.S. CROWDER**

PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE No. 52262  
PENNSYLVANIA LICENSE No. 0854764  
NEW YORK LICENSE No. 100602

SHEET TITLE:

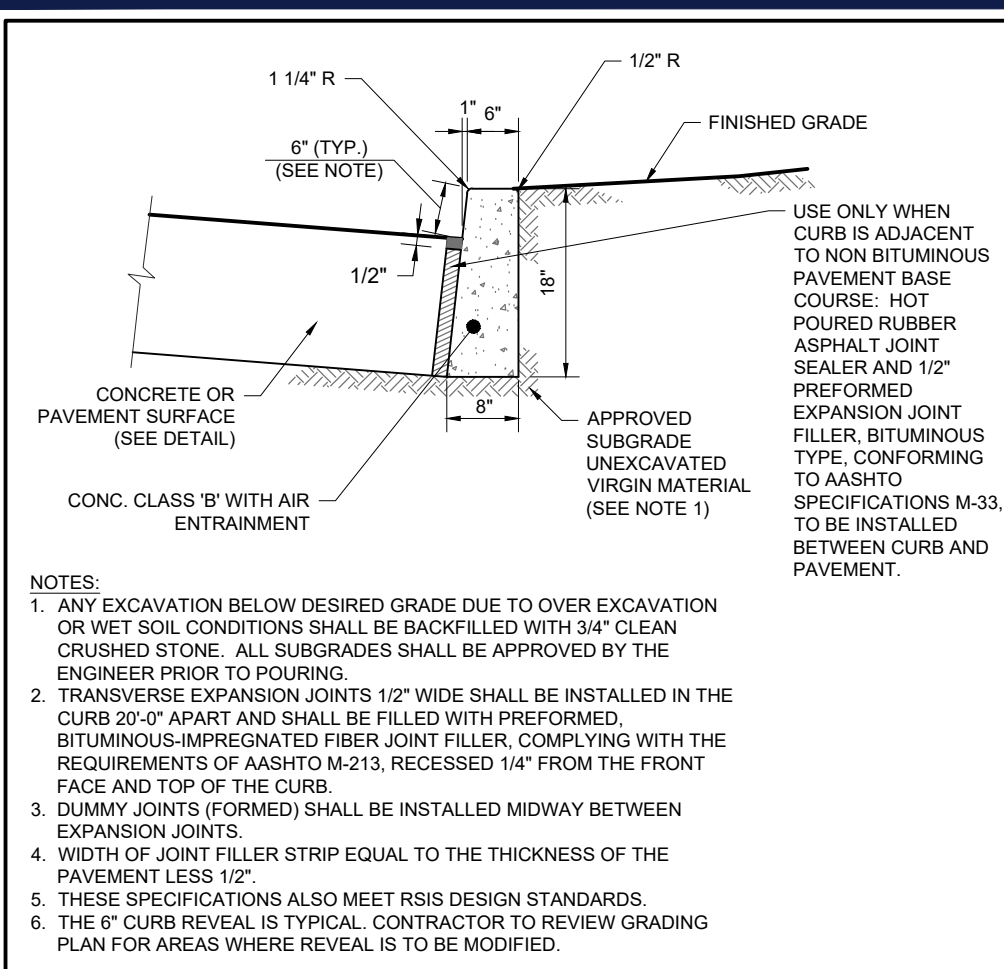
**SANITARY PROFILE**

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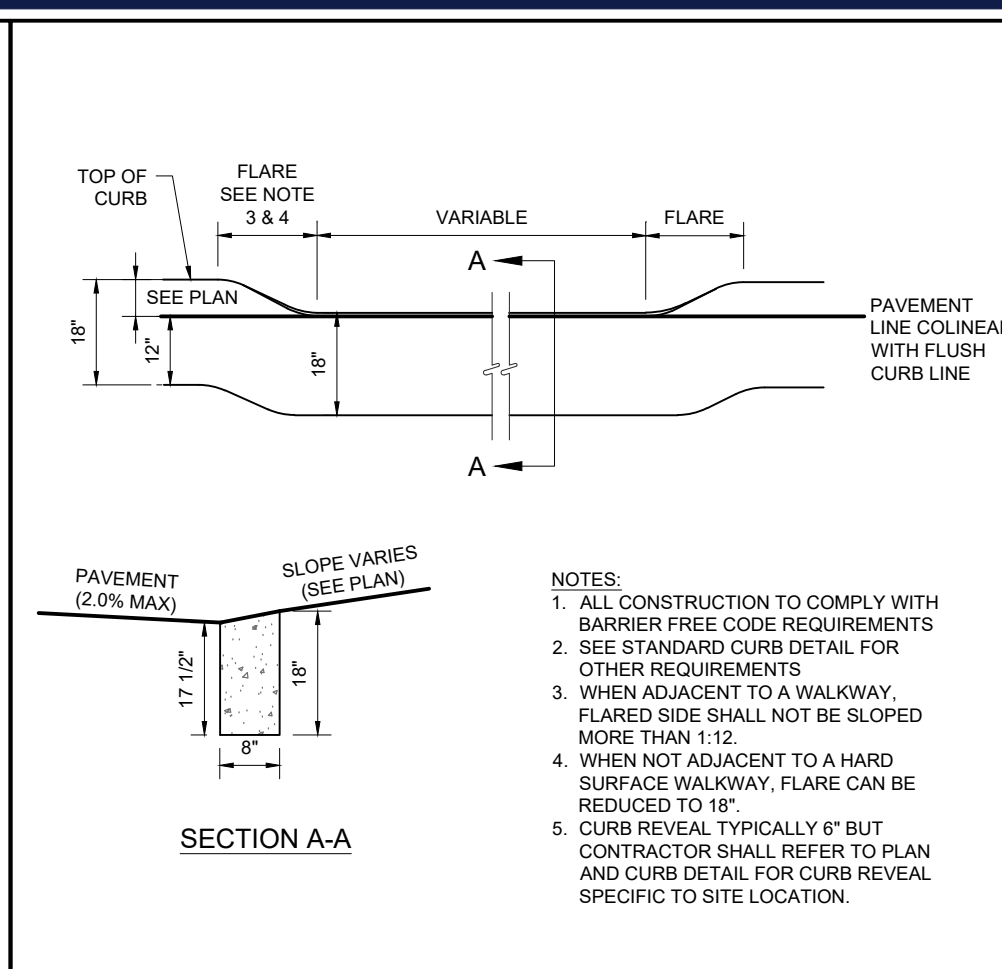
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ORG. DATE - 05/03/2021

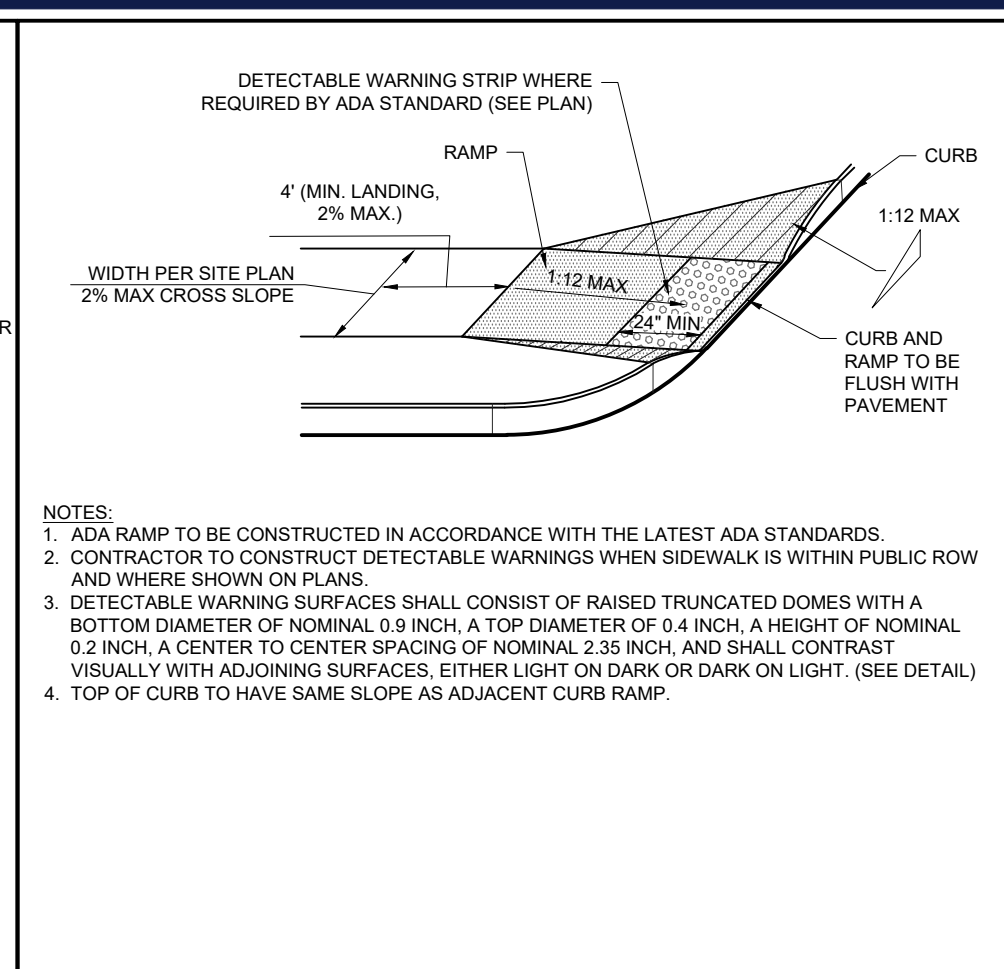
REFER TO NOTES AND REFERENCES SHEET FOR ADDITIONAL NOTES, REFERENCES AND SPECIFICATIONS.



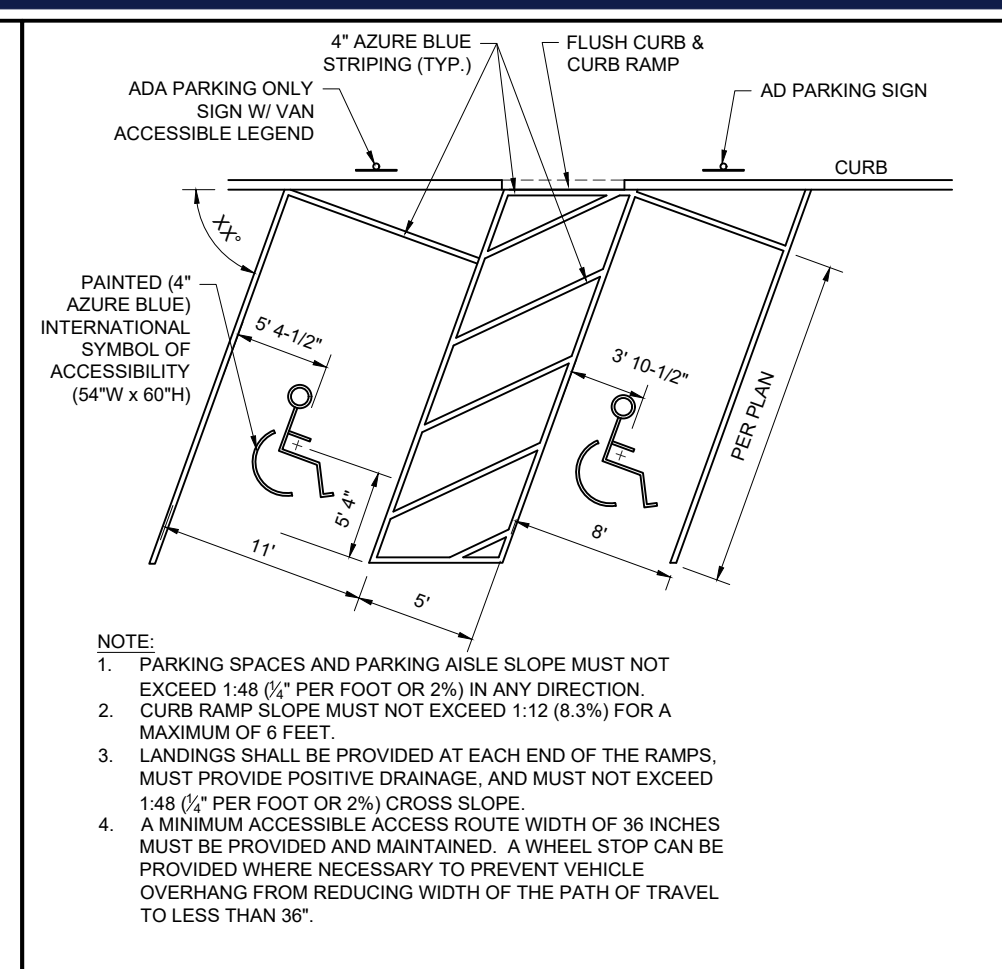
**1 CONCRETE CURB 6" REVEAL DETAIL**  
NOT TO SCALE (S030202-01/2013)



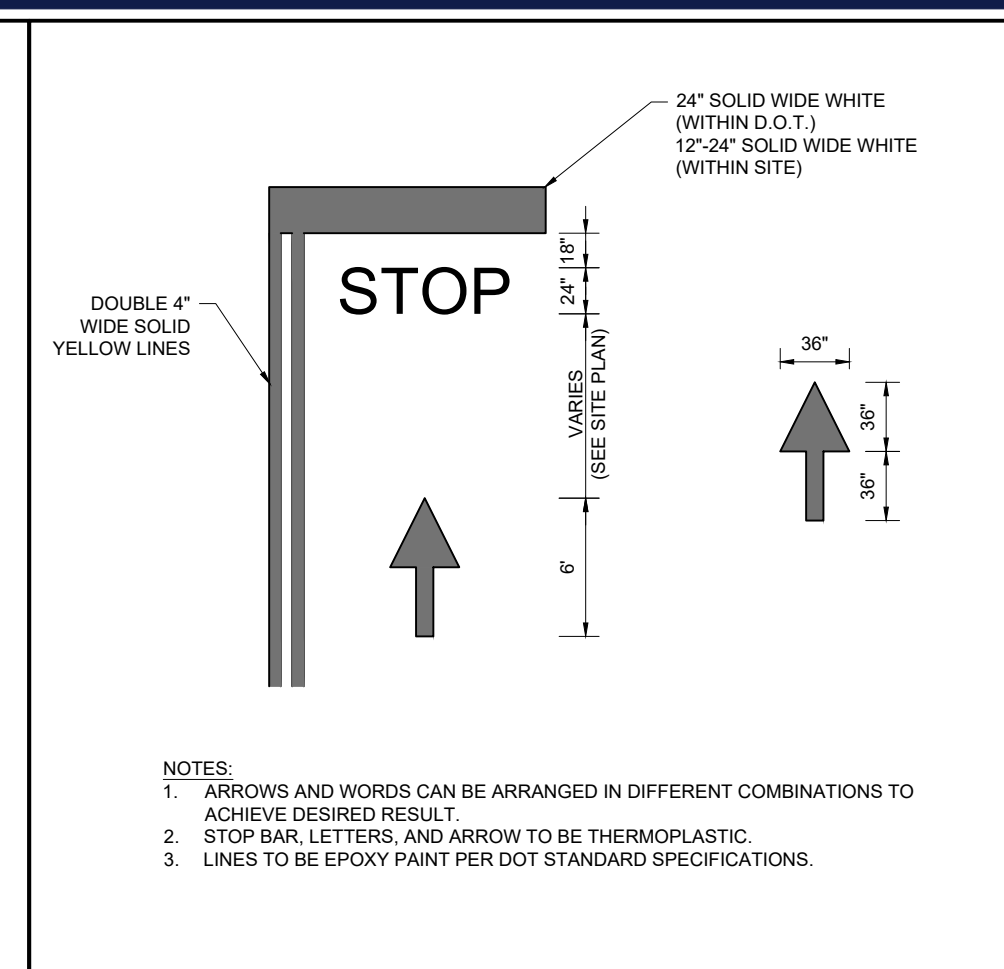
**2 ADA FLUSH CURB DETAIL**  
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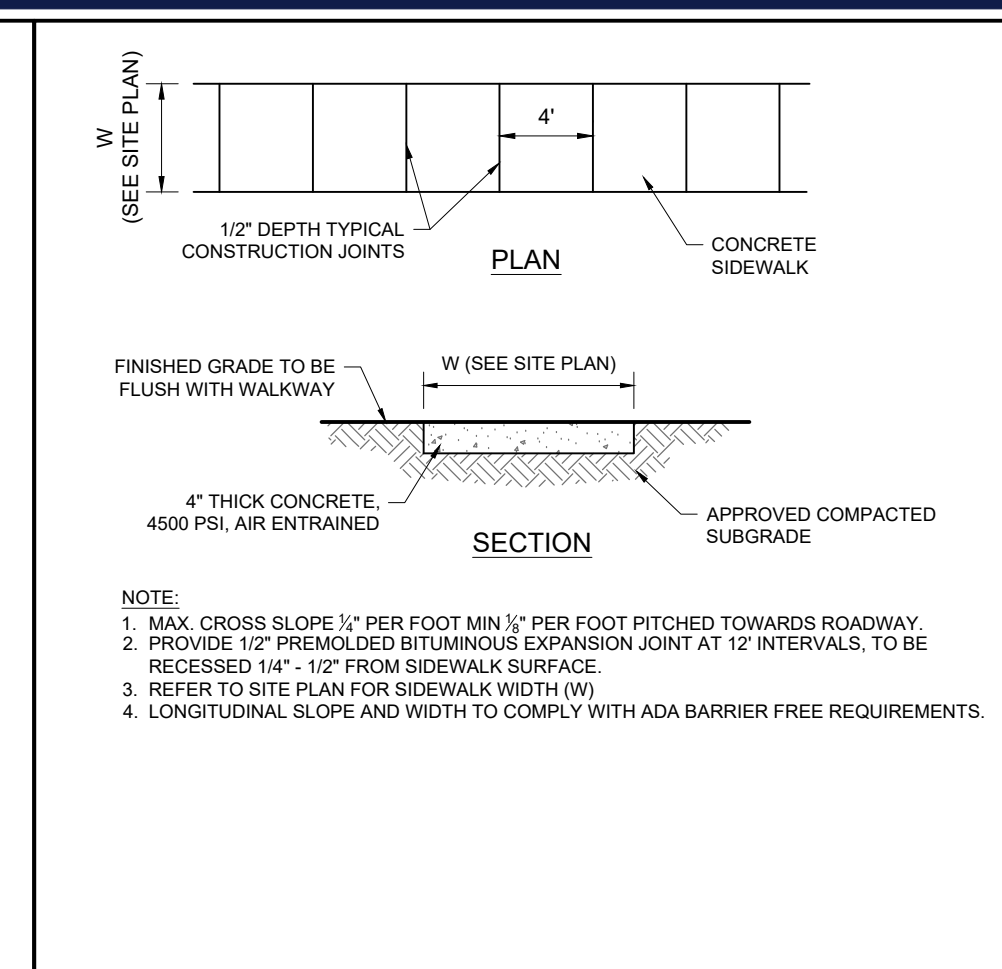
**3 ADA CURB RAMP DETAIL**  
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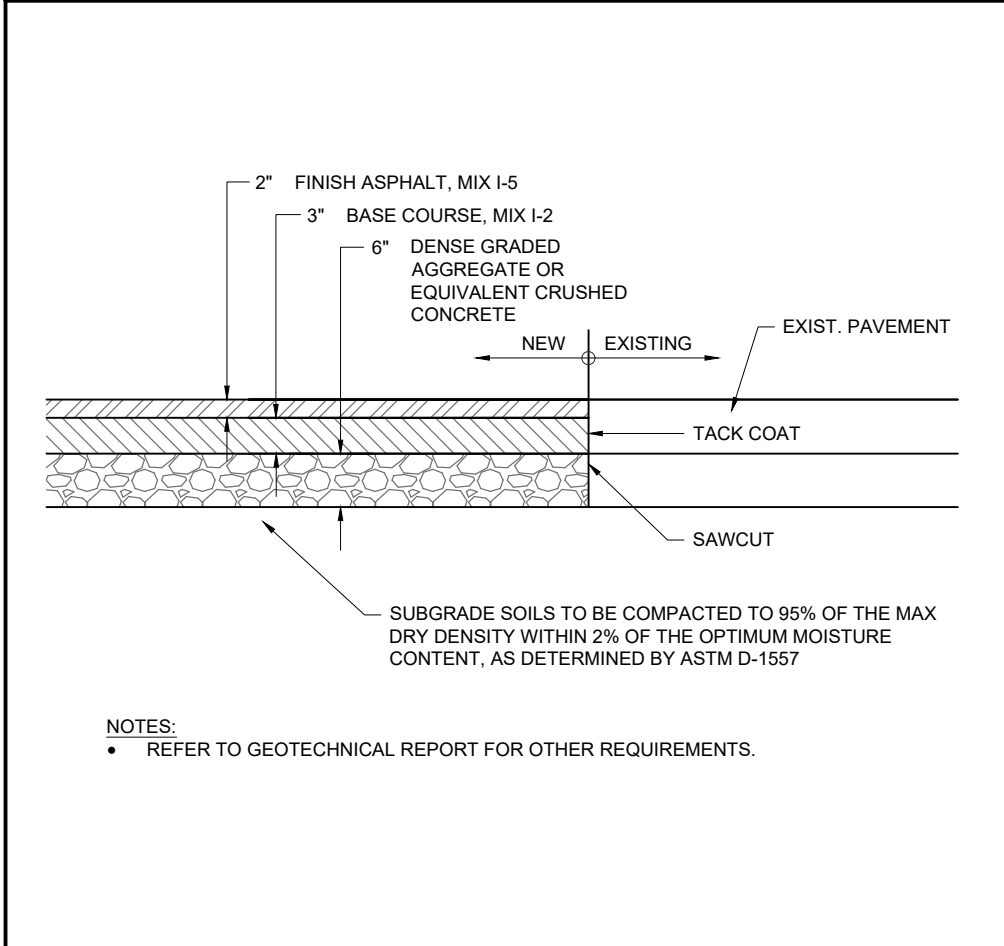
**4 ANGLED ADA PARKING STALL MARKING DETAIL**  
NOT TO SCALE (S070301-01-05/2017)



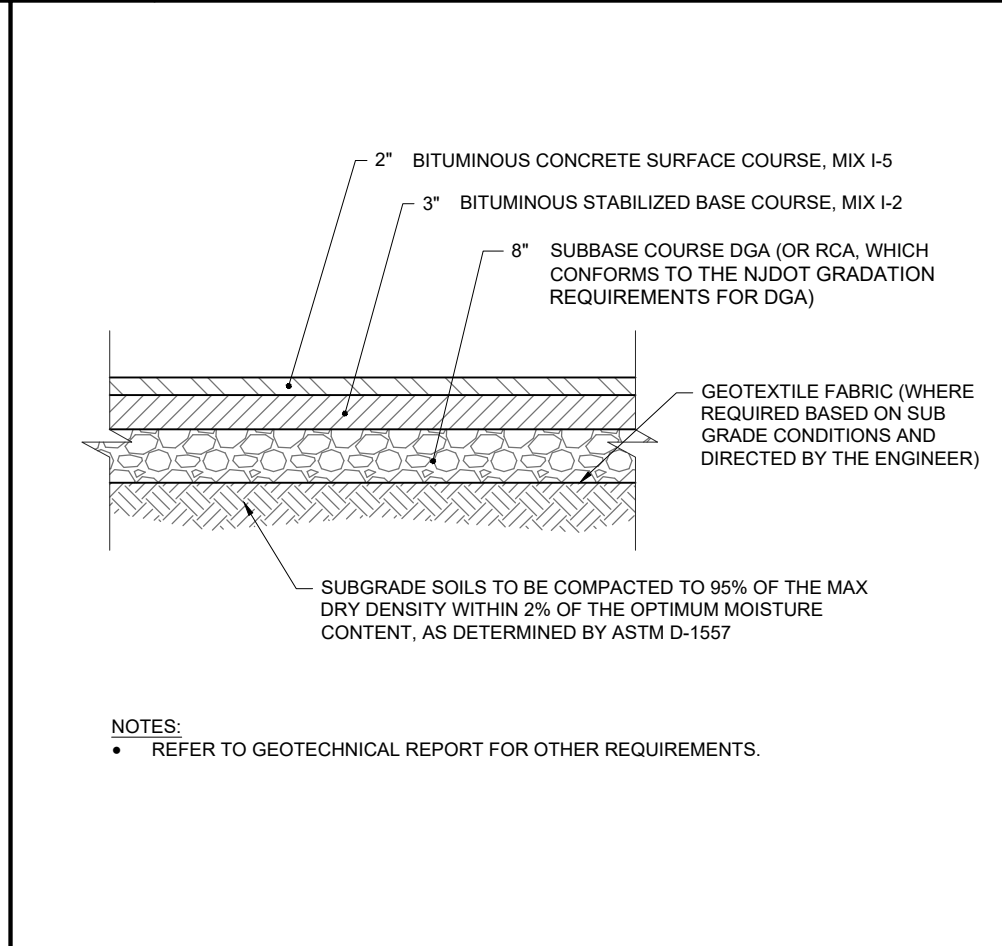
**5 PAINTED MARKING DETAILS**  
NOT TO SCALE (S080501-01/2013)



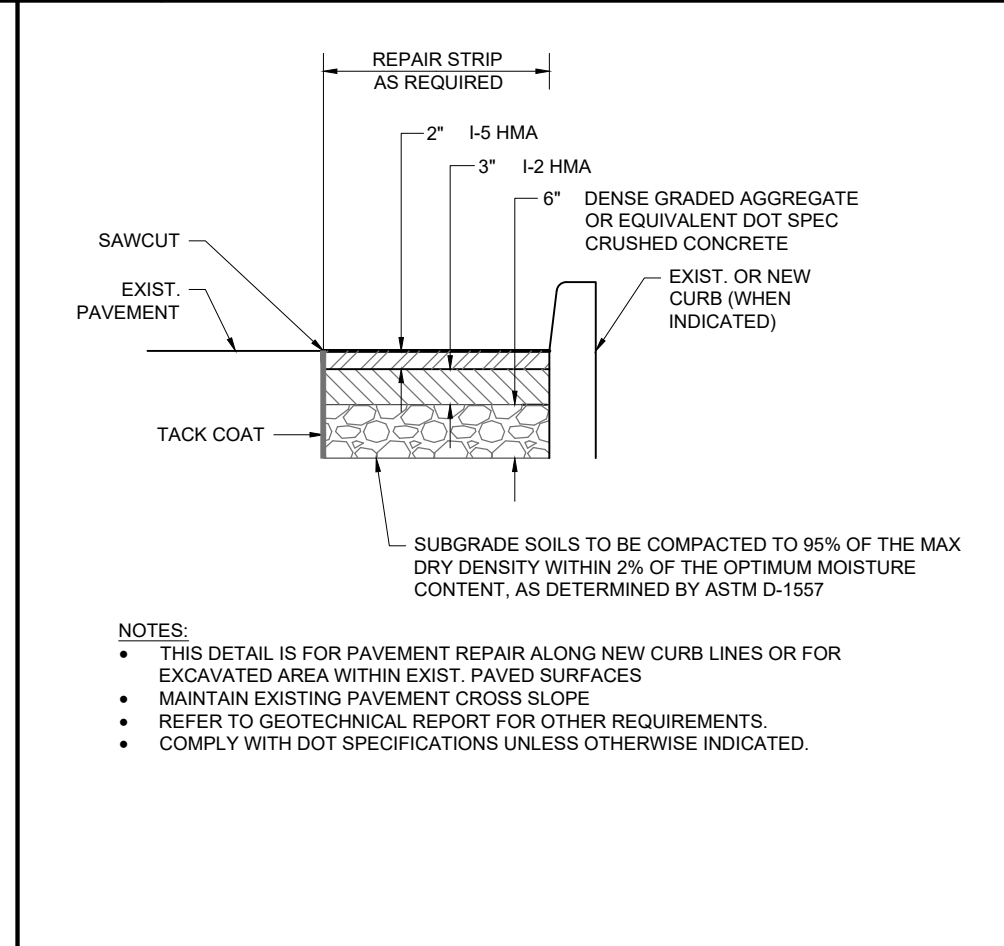
**6 CONCRETE SIDEWALK DETAIL**  
NOT TO SCALE (S090105-01/2013)



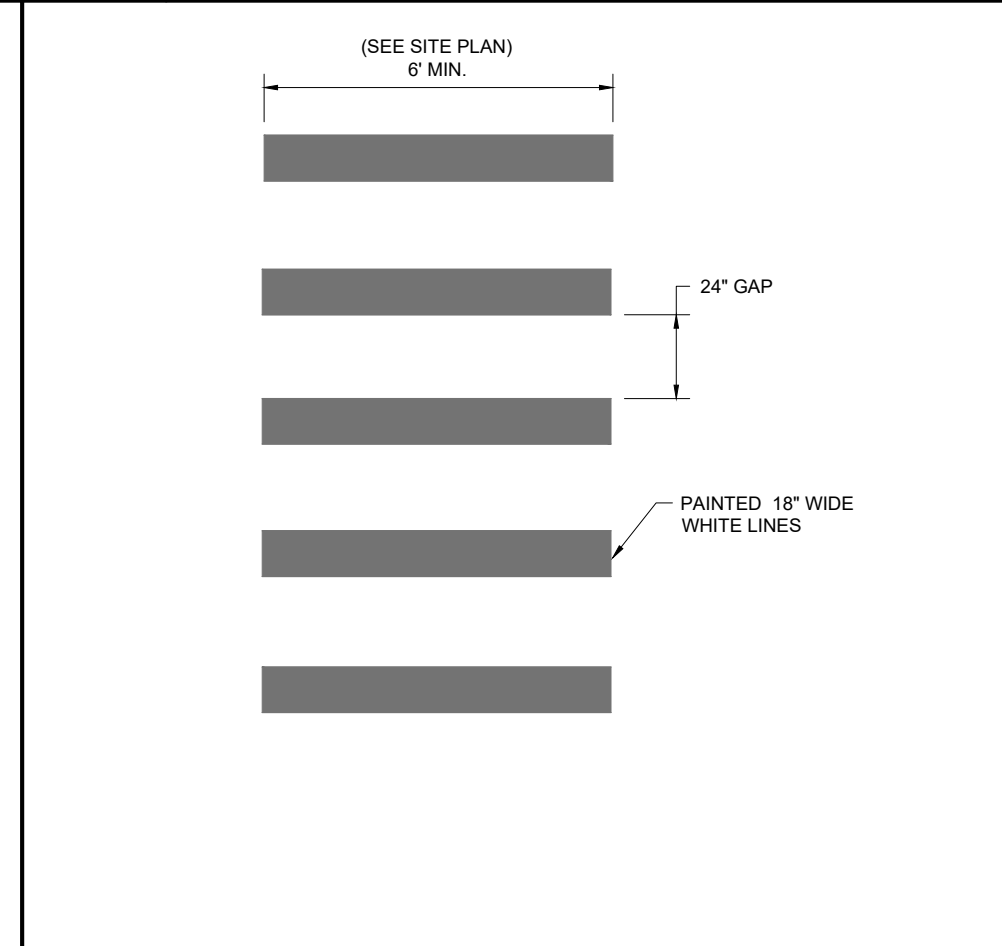
**7 STANDARD PAVING DETAIL**  
NOT TO SCALE (S080102-01/2013)



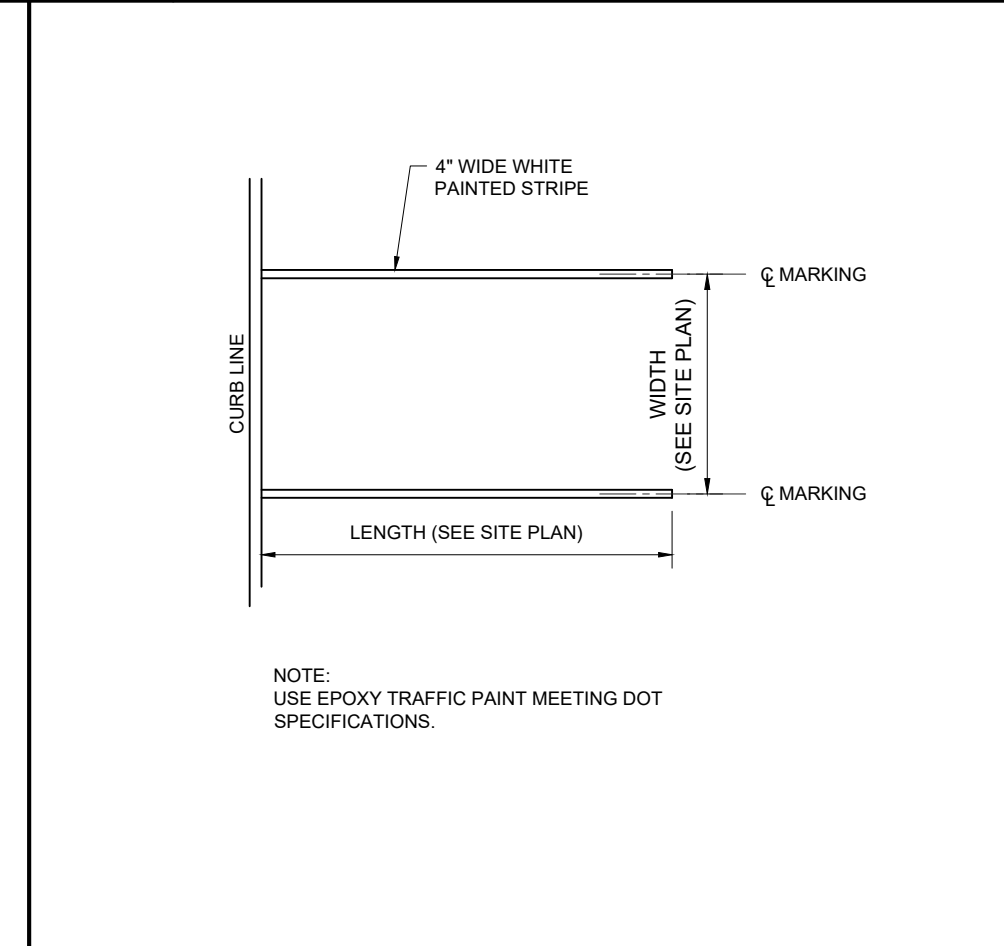
**8 HEAVY DUTY PAVEMENT SECTION DETAIL**  
NOT TO SCALE (S089101-01/2013)



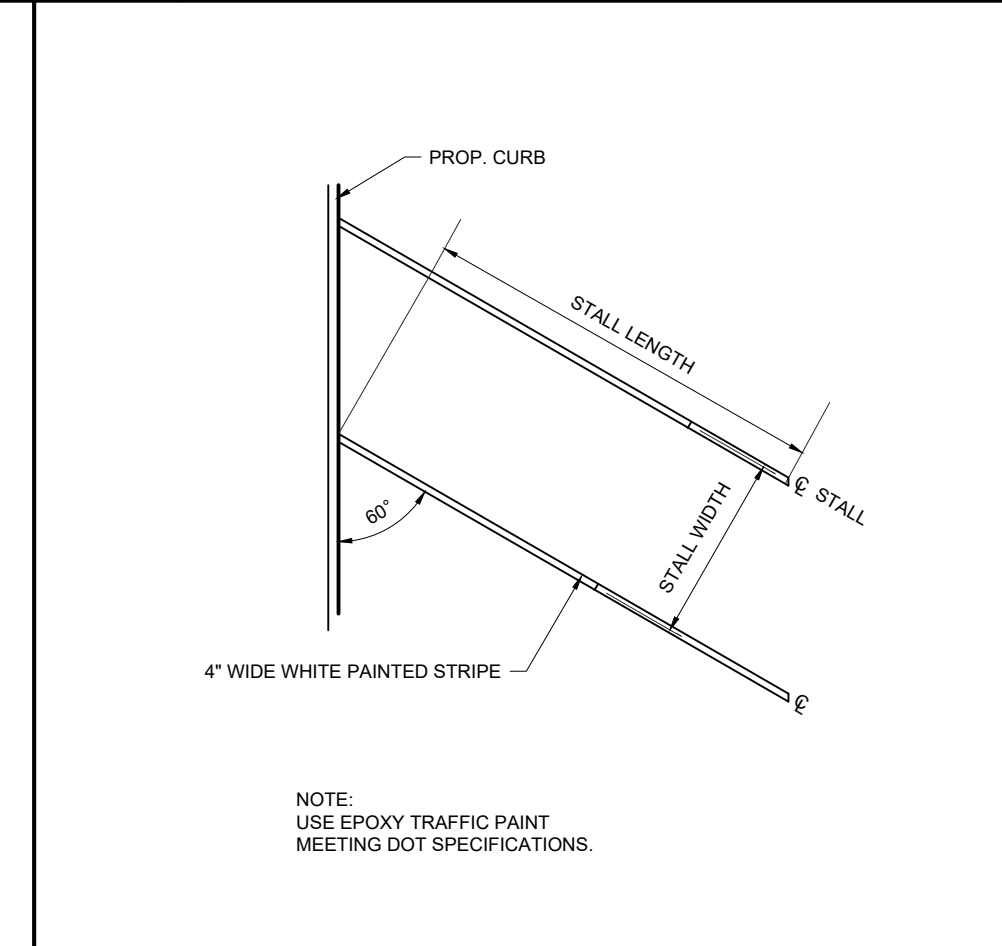
**9 PAVEMENT REPAIR DETAIL**  
NOT TO SCALE (S080402-07/2016)



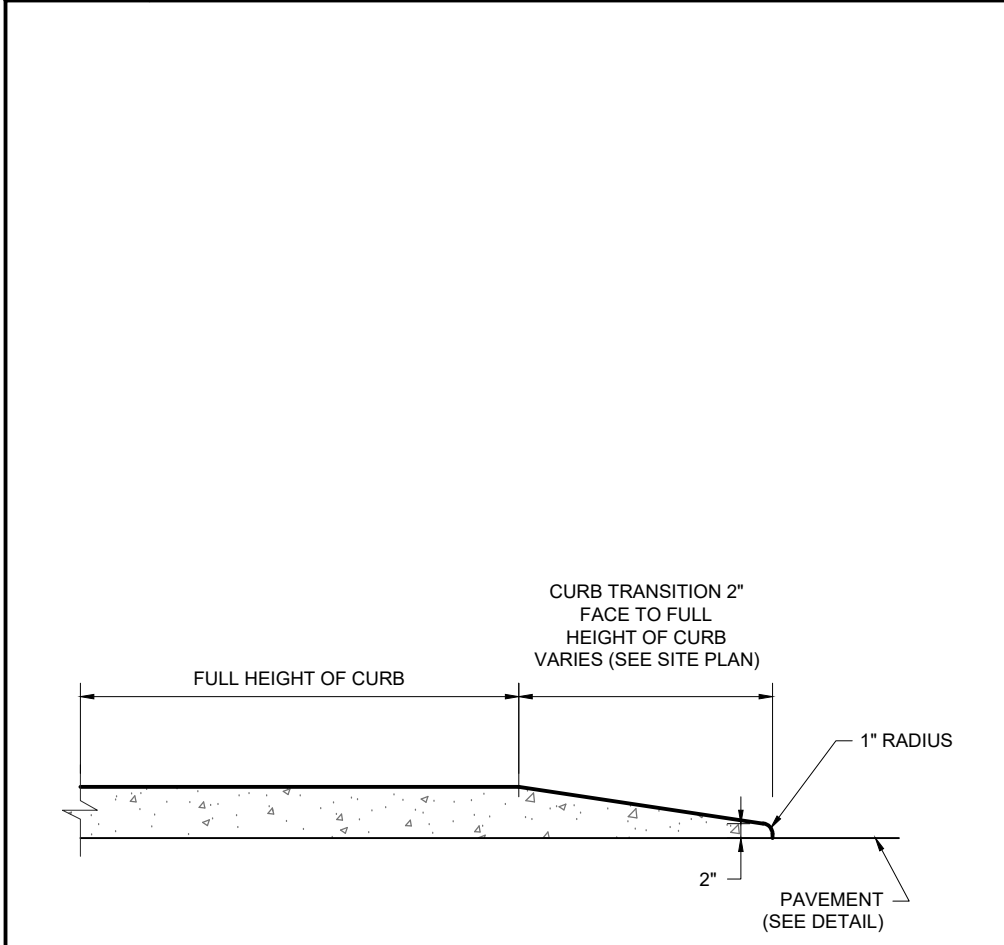
**10 PAINTED BLOCKED CROSSWALK DETAIL**  
NOT TO SCALE (S080601-01-01/2013)



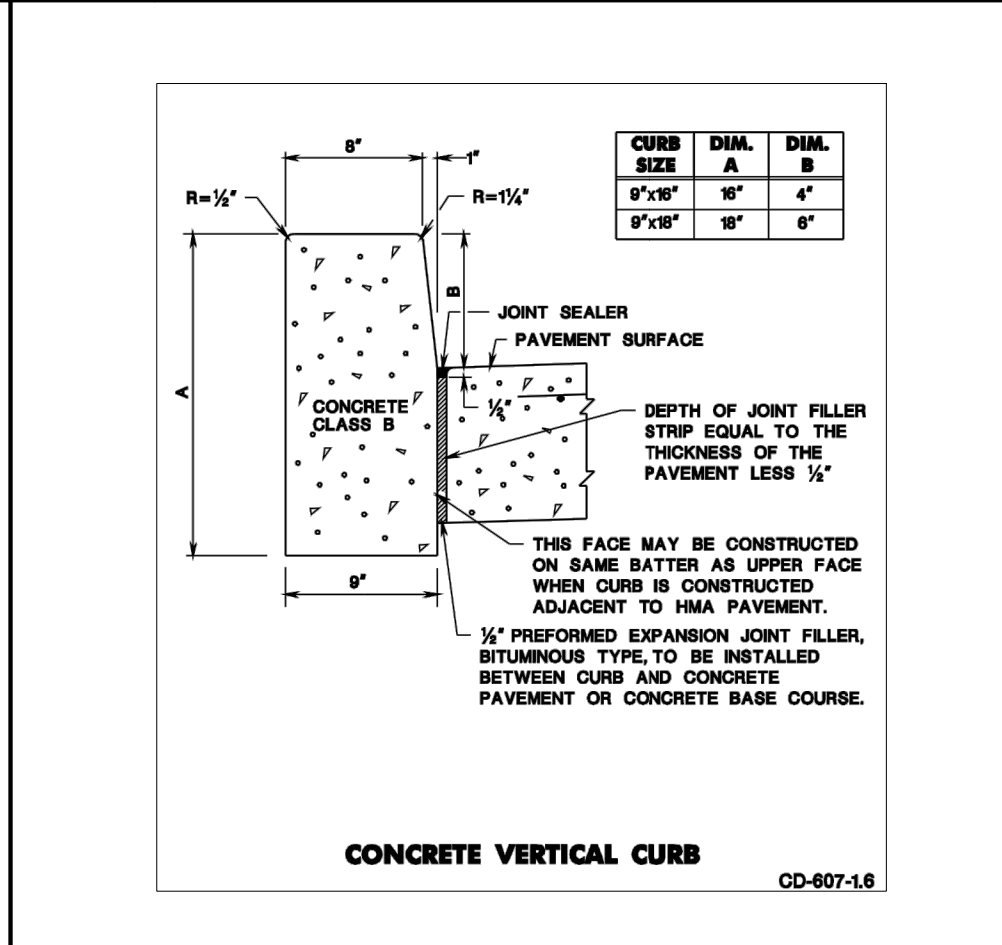
**11 STANDARD STRIPING DETAIL**  
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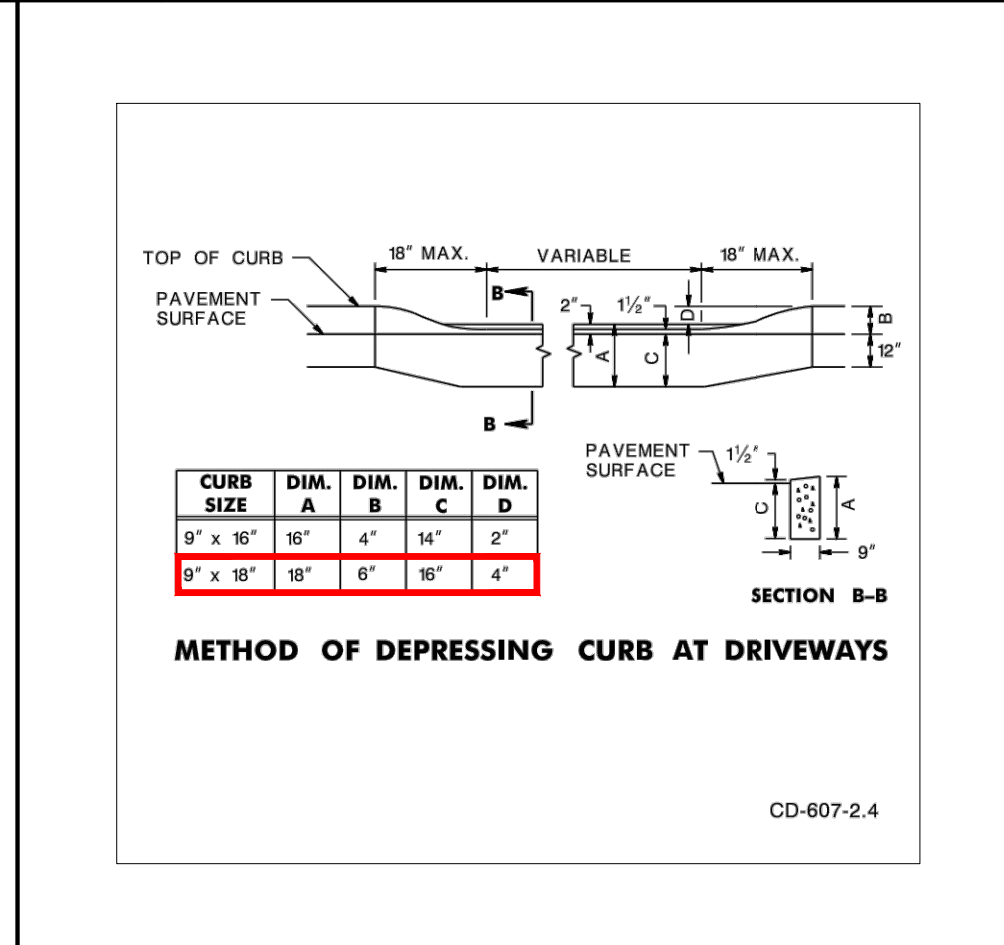
**12 60° ANGLED STRIPING DETAIL**  
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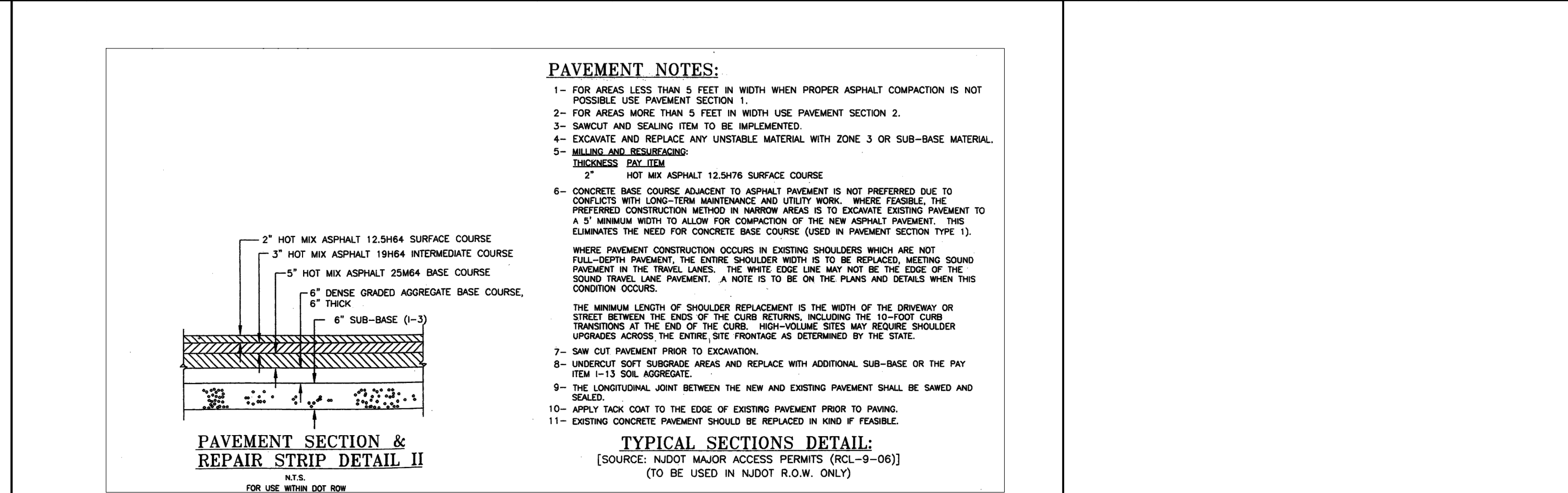
**13 TRANSITION CURB DETAIL**  
NOT TO SCALE (S039907-01/2013)



**14 NJDOT CONCRETE CURB DETAIL**  
NOT TO SCALE (SOURCE: NJDOT)



**15 NJDOT DEPRESSED CURB DETAIL**  
NOT TO SCALE (SOURCE: NJDOT)



**16 DOT PAVEMENT RESTORATION DETAIL**  
NOT TO SCALE (SOURCE: NJDOT) (FOR USE WITH DOT R.O.W. ONLY)

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PROJECT No.: J200460  
DRAWN BY: CR/JF  
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DATE: 05/03/2021  
CAD ID: J200460-CDS-0A

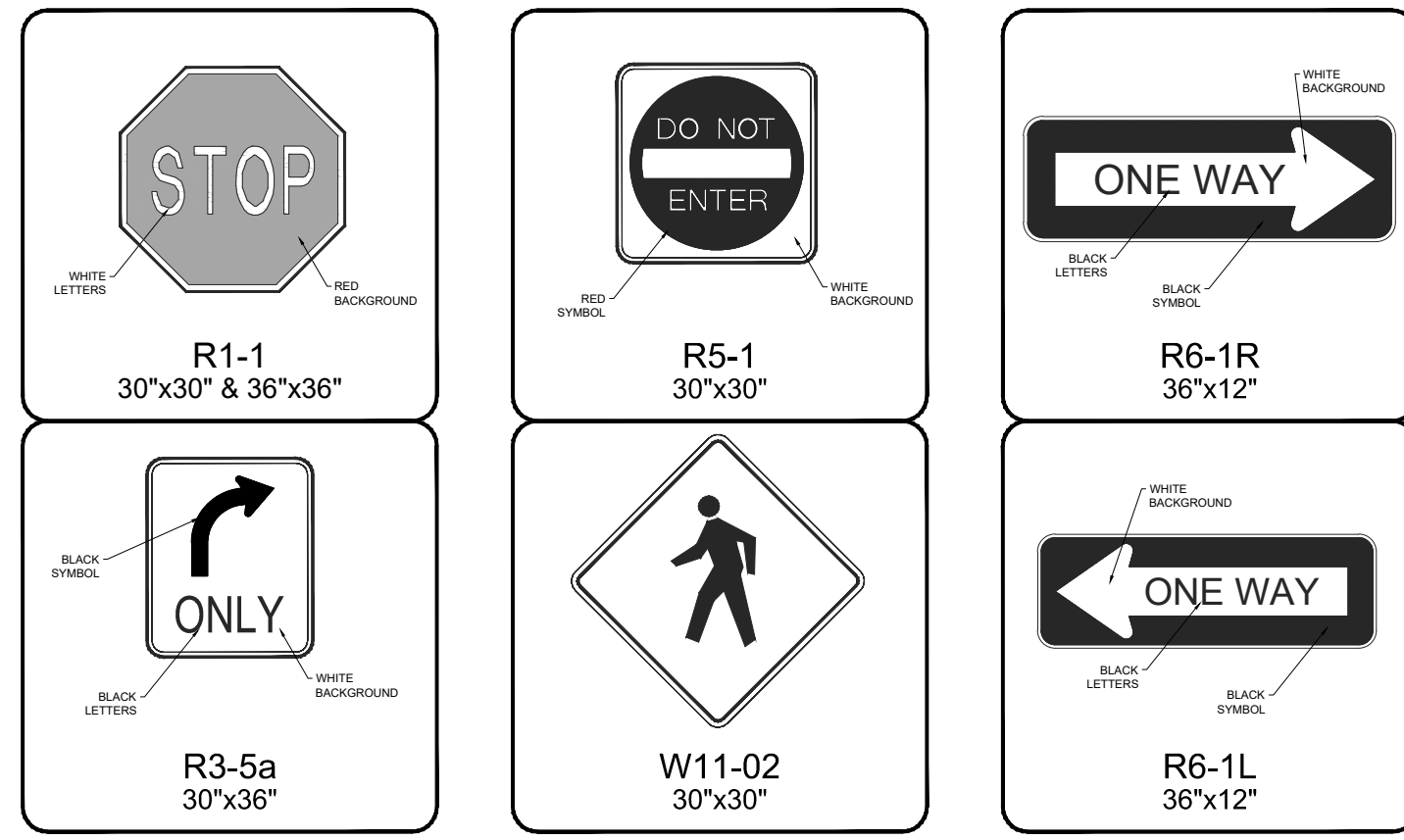
PROJECT:  
**PRELIMINARY AND FINAL MAJOR SITE PLAN & MINOR SUBDIVISION PLAN**  
FOR  
**CSW AS VI CINNAMINSON URBAN RENEWAL L.P. C/O WESTRUM**  
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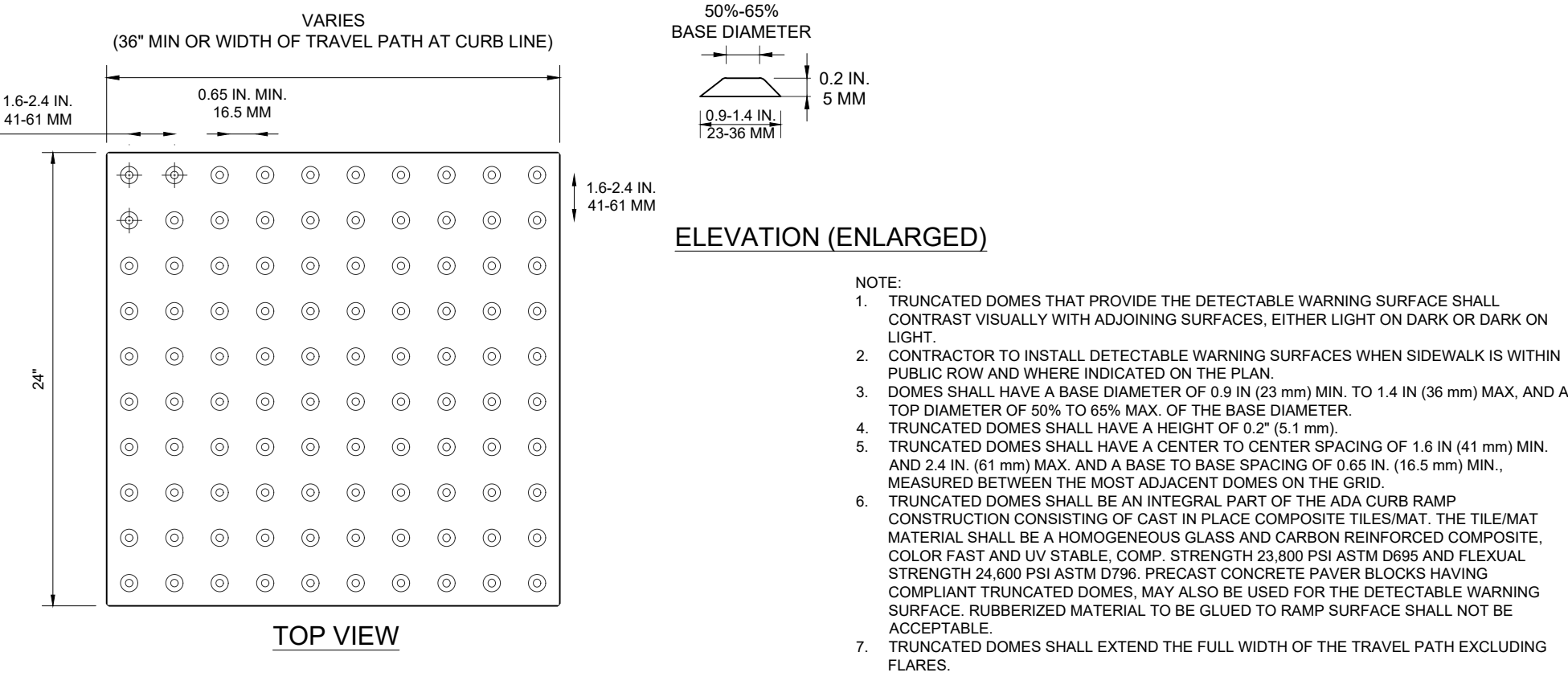
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SHEET TITLE:  
**DETAIL SHEET**  
SHEET NUMBER:  
**C-901**  
ORG. DATE - 05/03/2021

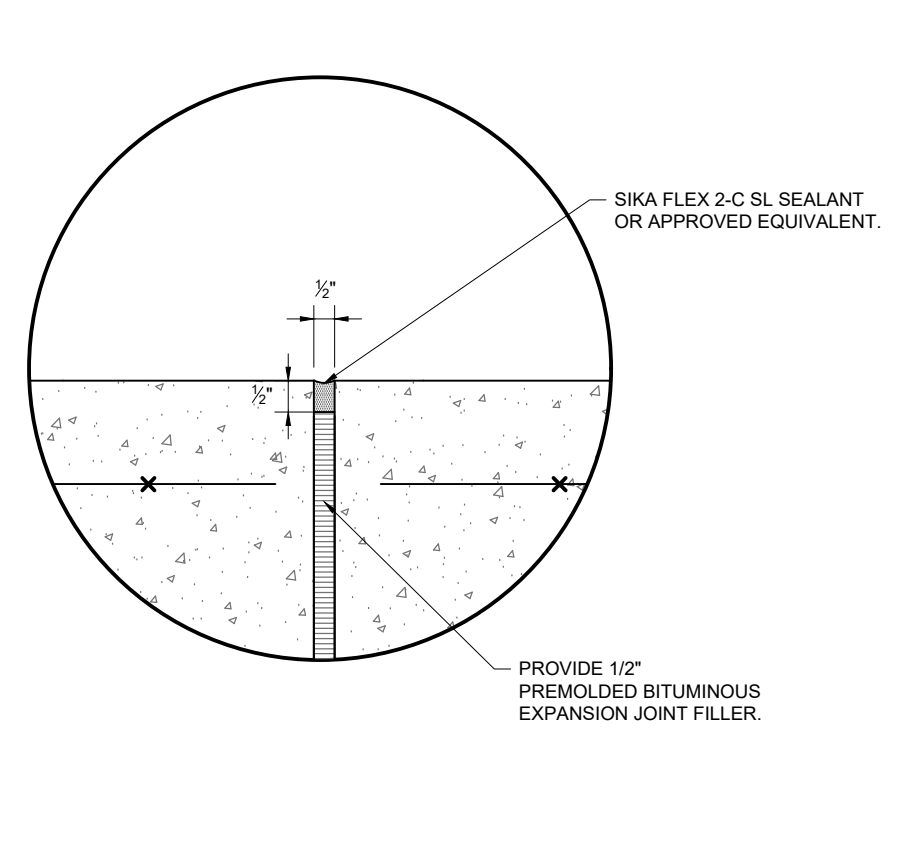
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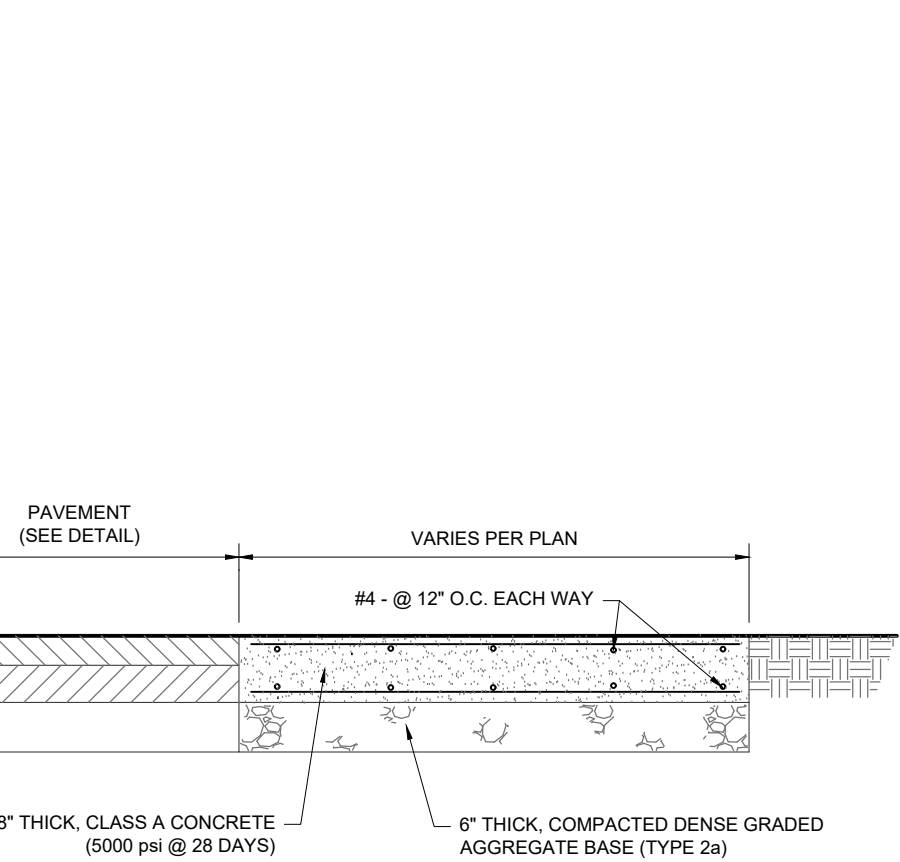
**1 SIGN DETAILS**  
NOT TO SCALE



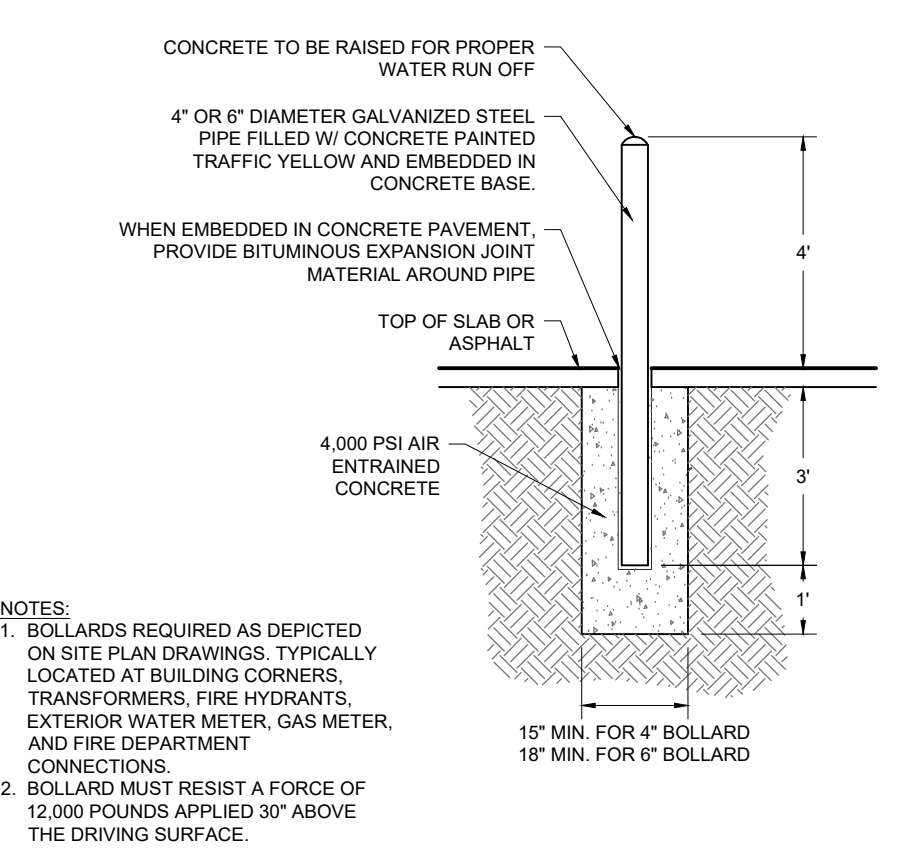
**4 TRUNCATED DOME PATTERN DETAIL**  
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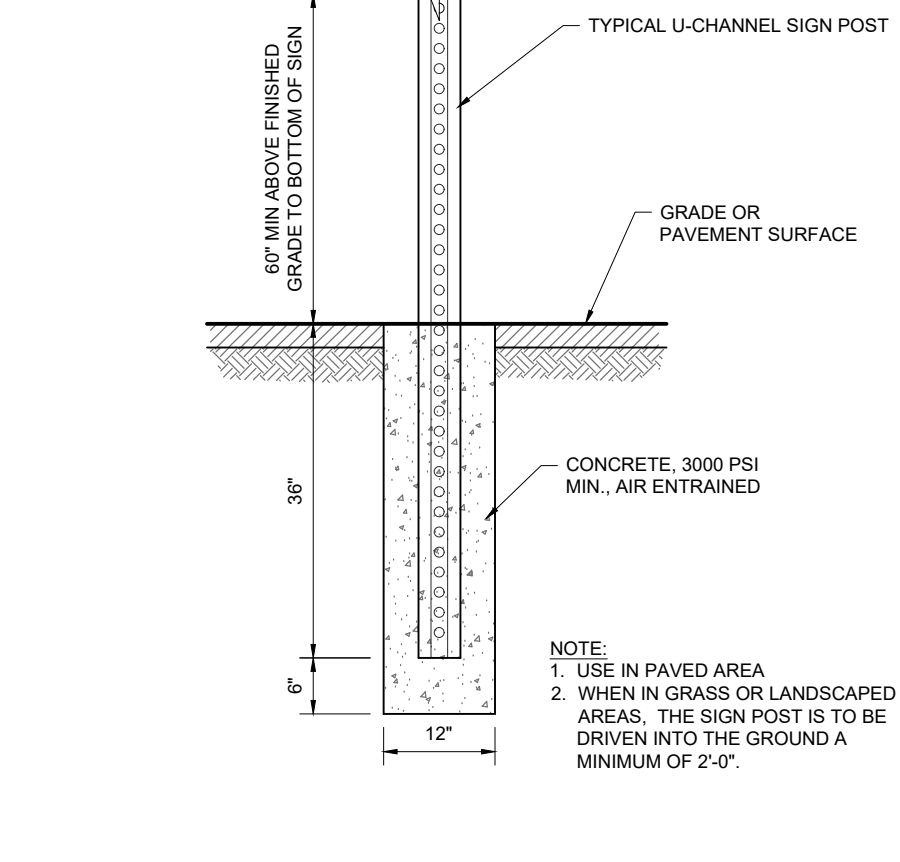
**2 EXPANSION JOINT WITH SEALANT DETAIL**  
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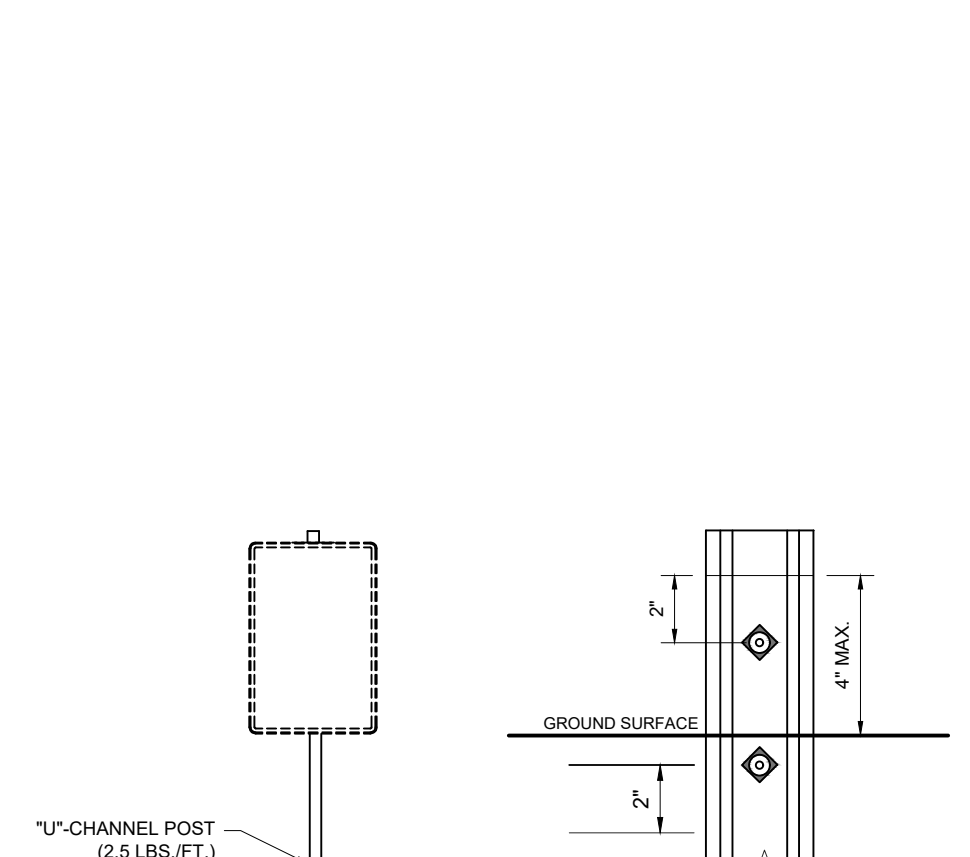
**5 CONCRETE PAD FOR LOADING AREA DETAIL**  
NOT TO SCALE (S029903-01/2013)



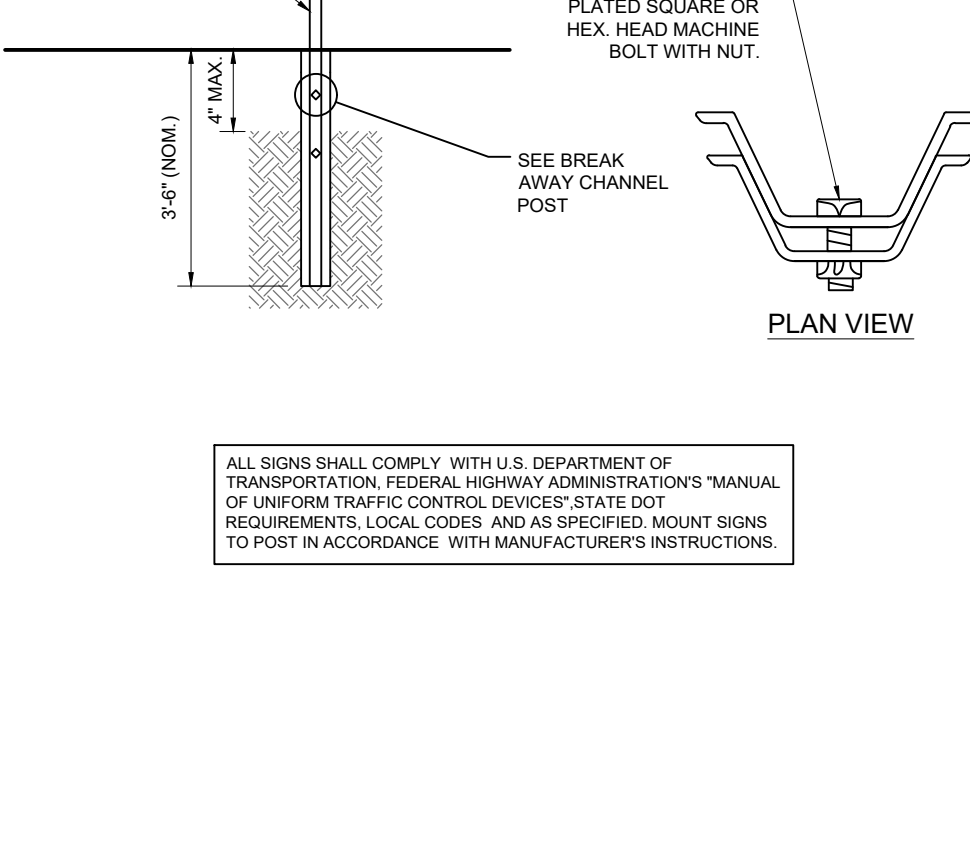
**3 4" BOLLARD DETAIL**  
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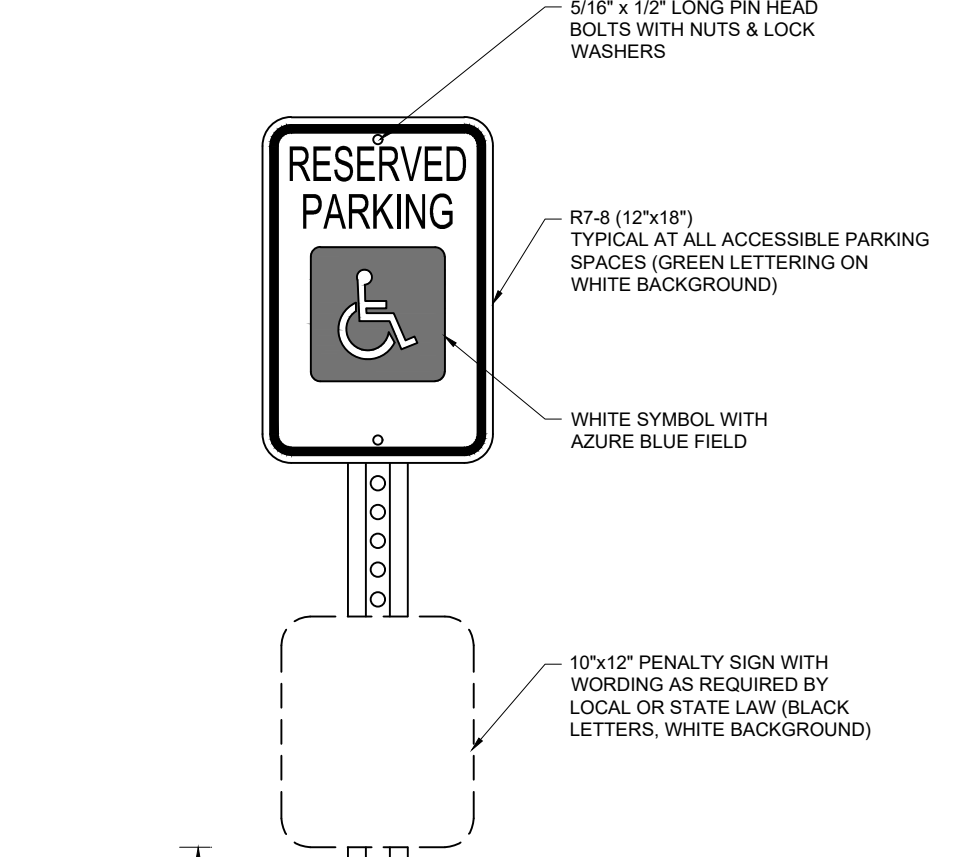
**6 SIGN POST FOUNDATION**  
NOT TO SCALE (S100201 - 09.25.08)



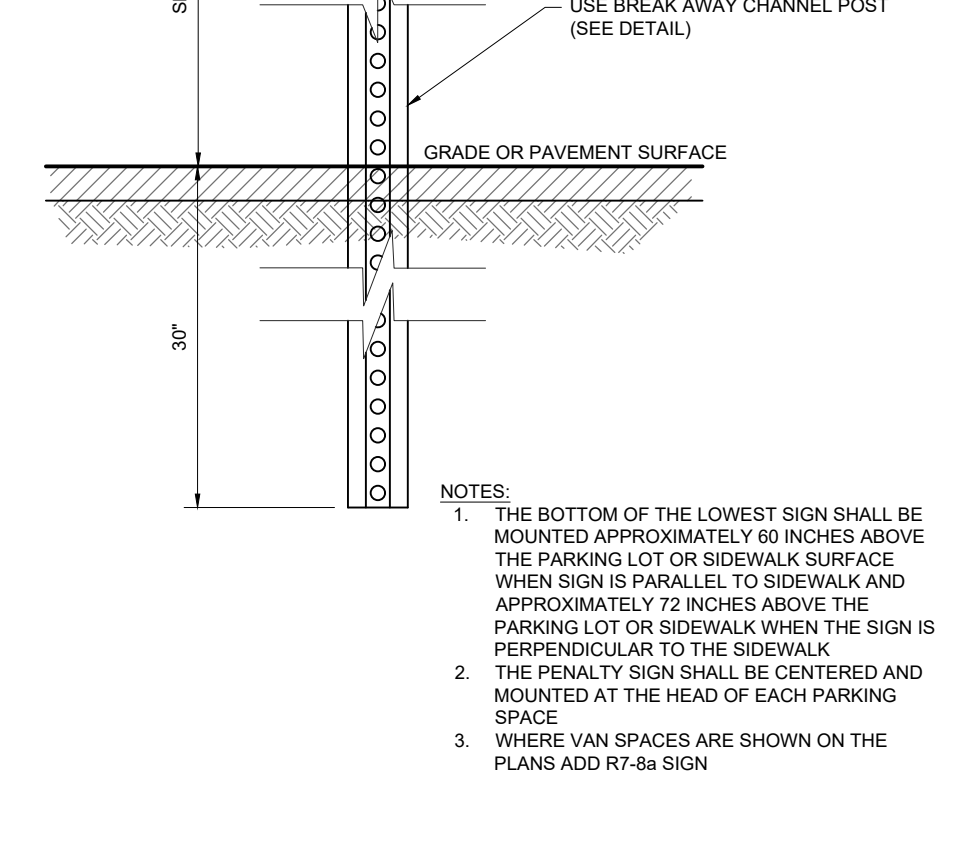
**7 BREAKAWAY SIGN POST DETAIL**  
NOT TO SCALE (S100202-01-01/2013)



**8 ADA PARKING SIGN DETAIL**  
NOT TO SCALE (S070205-01/2013)



**8 ADA PARKING SIGN DETAIL**  
NOT TO SCALE (S070205-01/2013)



**8 ADA PARKING SIGN DETAIL**  
NOT TO SCALE (S070205-01/2013)

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PROJECT No.: J200460  
DRAWN BY: CR/JF  
CHECKED BY: BC  
DATE: 05/03/2021  
CAD ID: J200460-CDS-0A

PROJECT:  
**PRELIMINARY AND FINAL MAJOR SITE PLAN & MINOR SUBDIVISION PLAN**  
FOR  
**CSW AS VI CINNAMINSON URBAN RENEWAL L.P. C/O WESTRUM DEVELOPMENT COMPANY**  
PROPOSED SENIOR LIVING FACILITY  
MAP: 13 | BLK: 1304 | EXISTING LOT: 18  
PROPOSED LOTS: 18.01 & 18.02  
605 N.J.S.H. ROUTE 130  
TOWNSHIP OF CINNAMINSON  
BURLINGTON COUNTY, NEW JERSEY

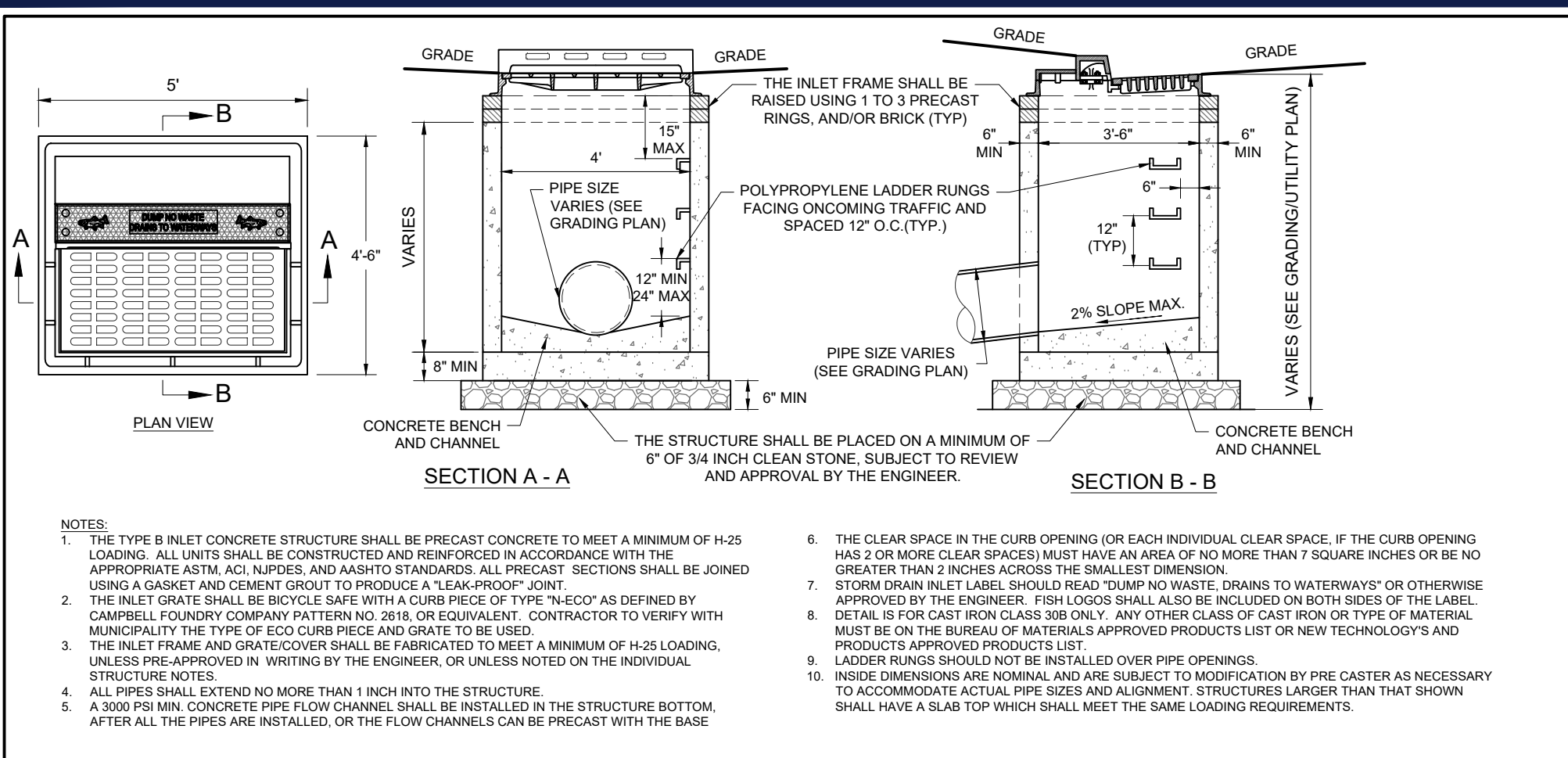
**BOHLER**  
BOHLER ENGINEERING NJ, LLC  
30 INDEPENDENCE BLVD., SUITE 200  
WARREN, NJ 07059  
Phone: (908) 685-6300  
Fax: (908) 724-4401  
www.BohlerEngineering.com  
NJ CERT. OF AUTHORIZATION NO. 24GA28191700 & MH000122

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NEW YORK LICENSE No. 100602

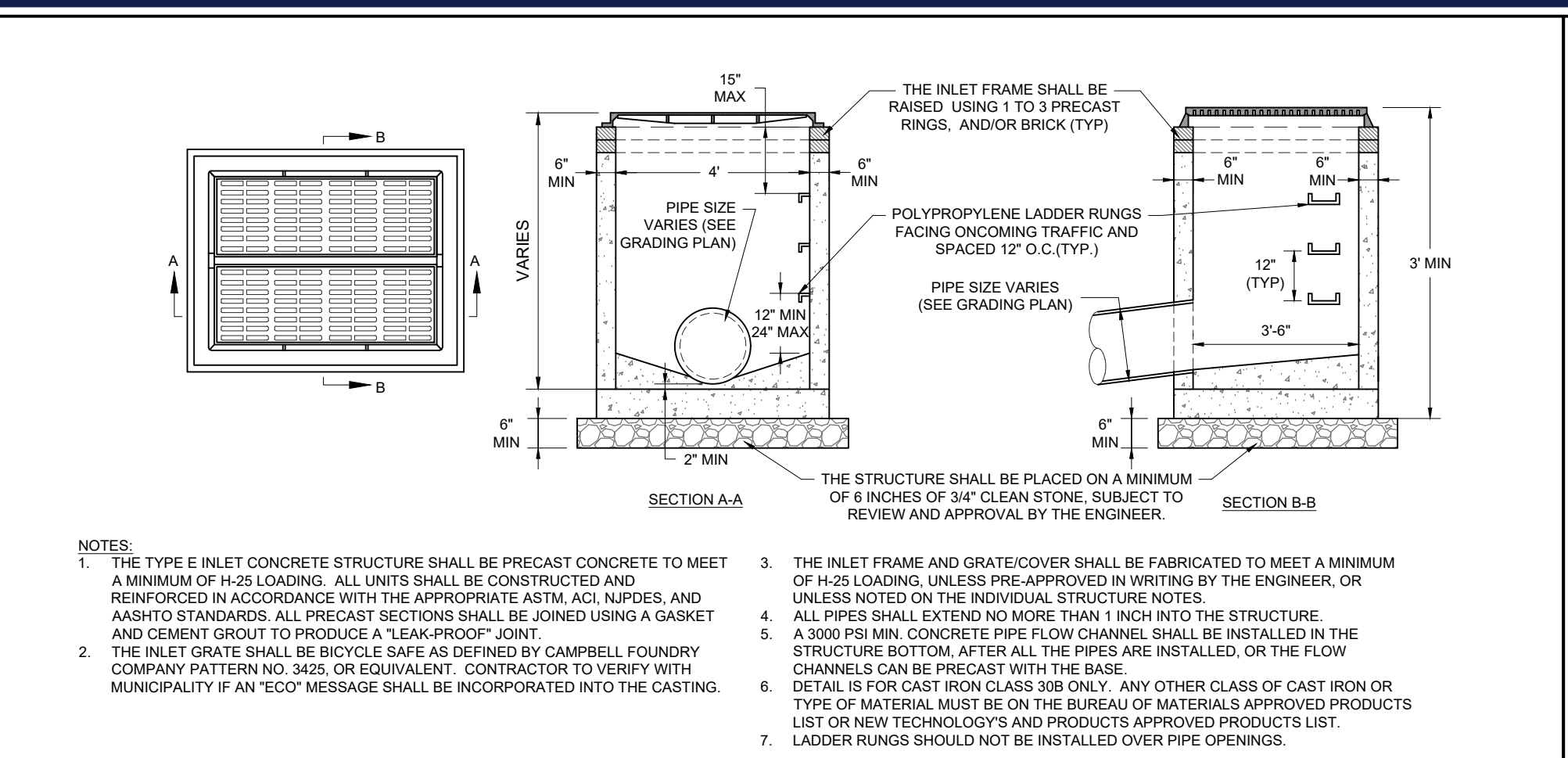
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**DETAIL SHEET**

SHEET NUMBER:  
**C-902**

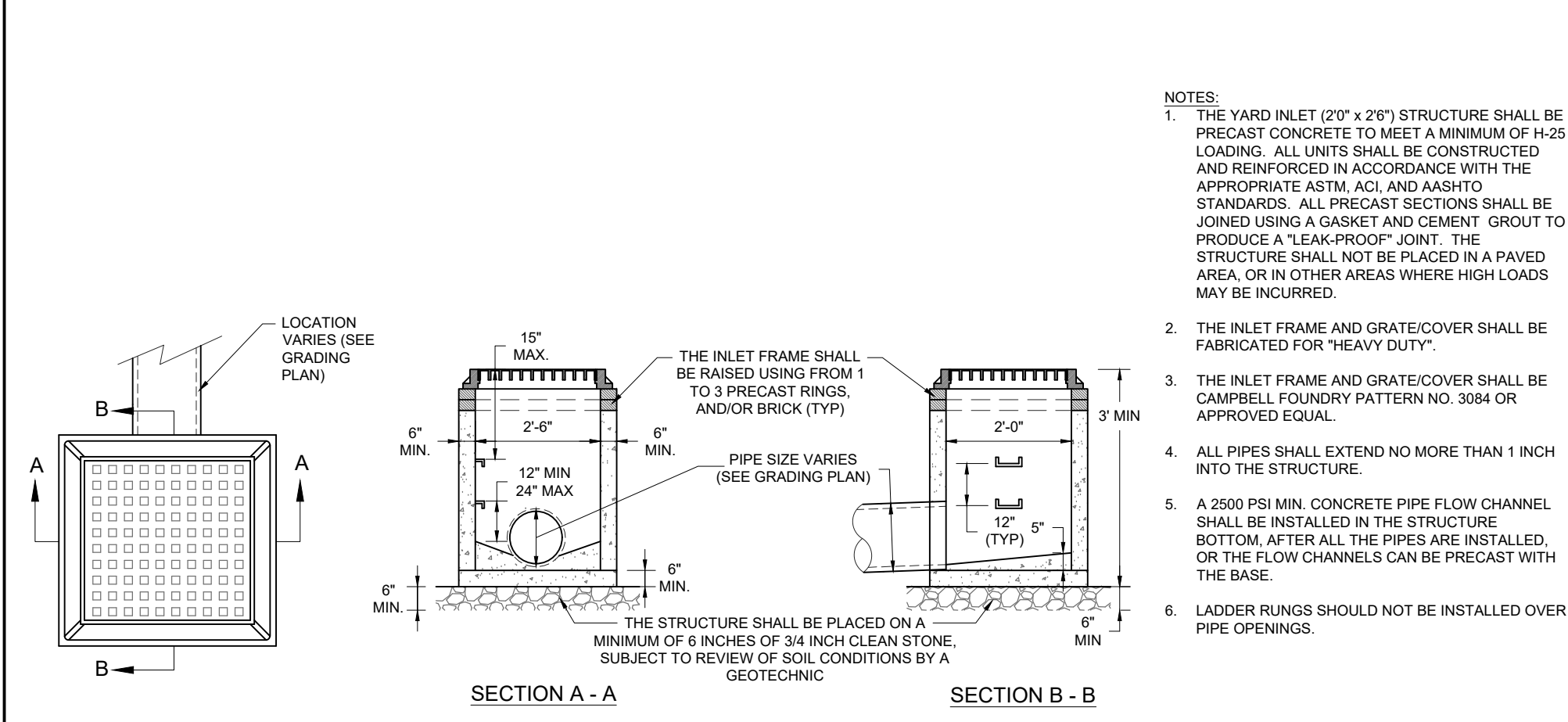
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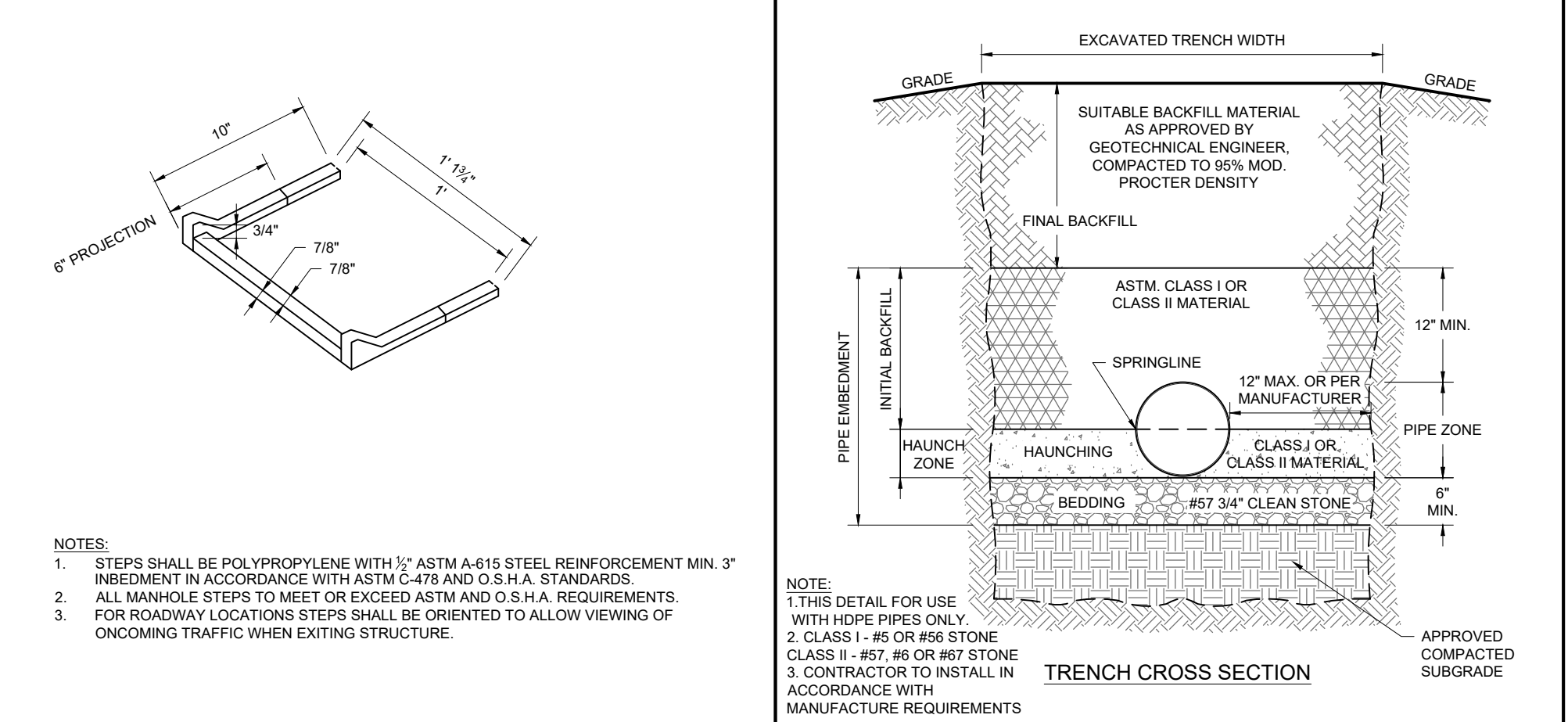
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NOT TO SCALE (G020308-01-01/2013)



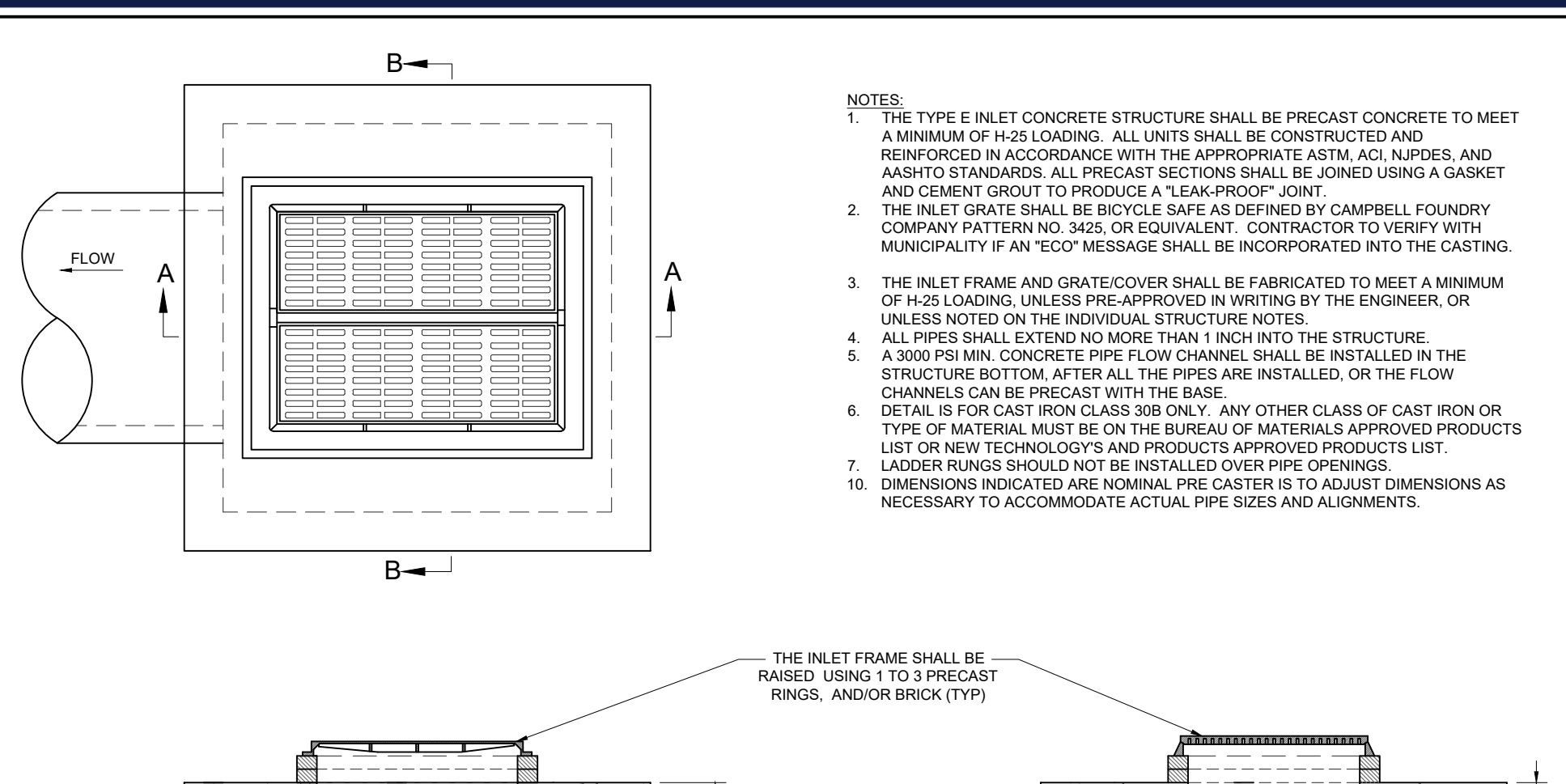
**2 TYPE 'E' INLET DETAIL**  
NOT TO SCALE (G020310-01/2013)



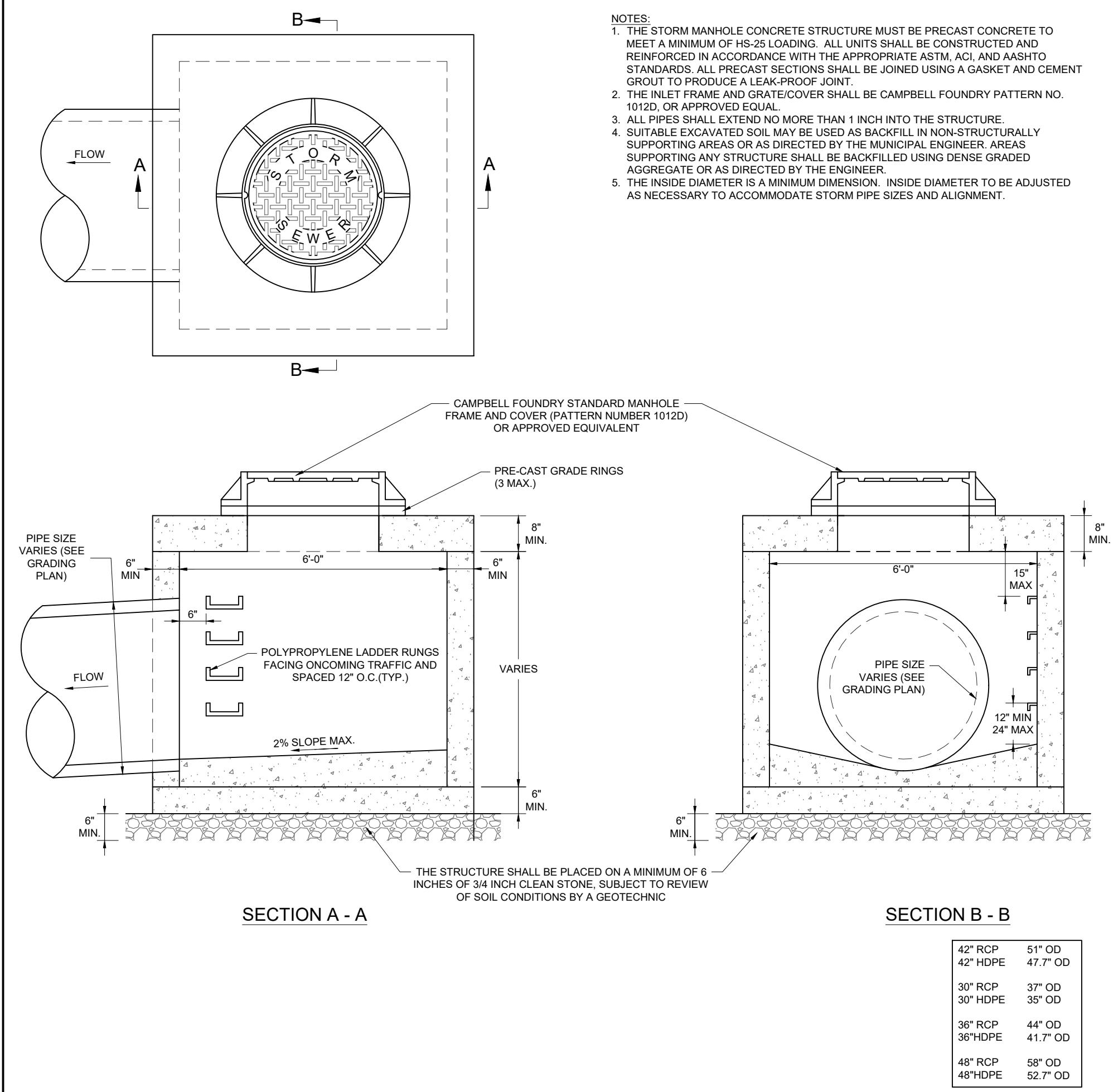
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NOT TO SCALE (G020311-01/2013)



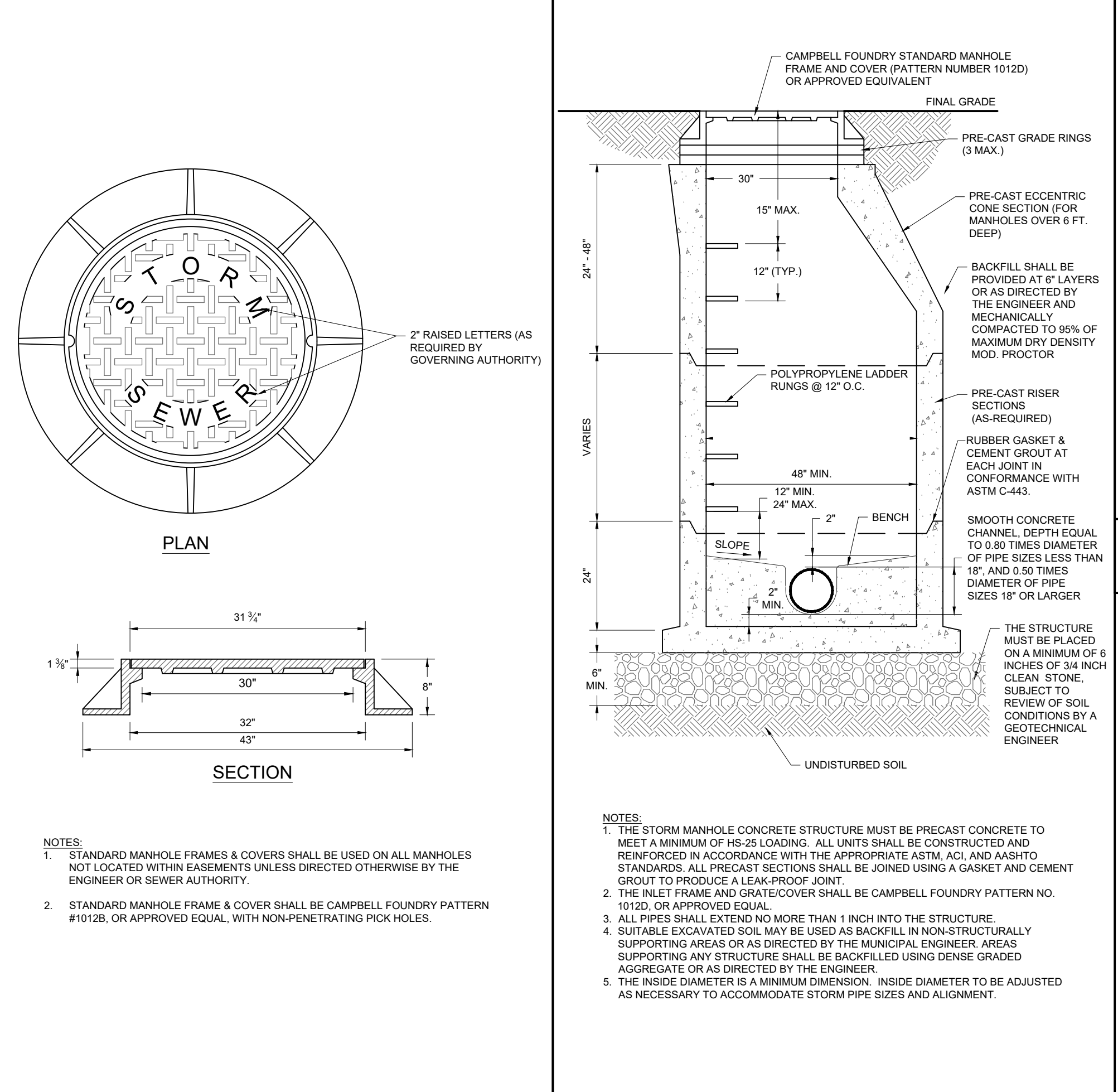
**4 MANHOLE POLYPROPYLENE LADDER RUNG DETAIL**  
NOT TO SCALE (G020405-01/2013)



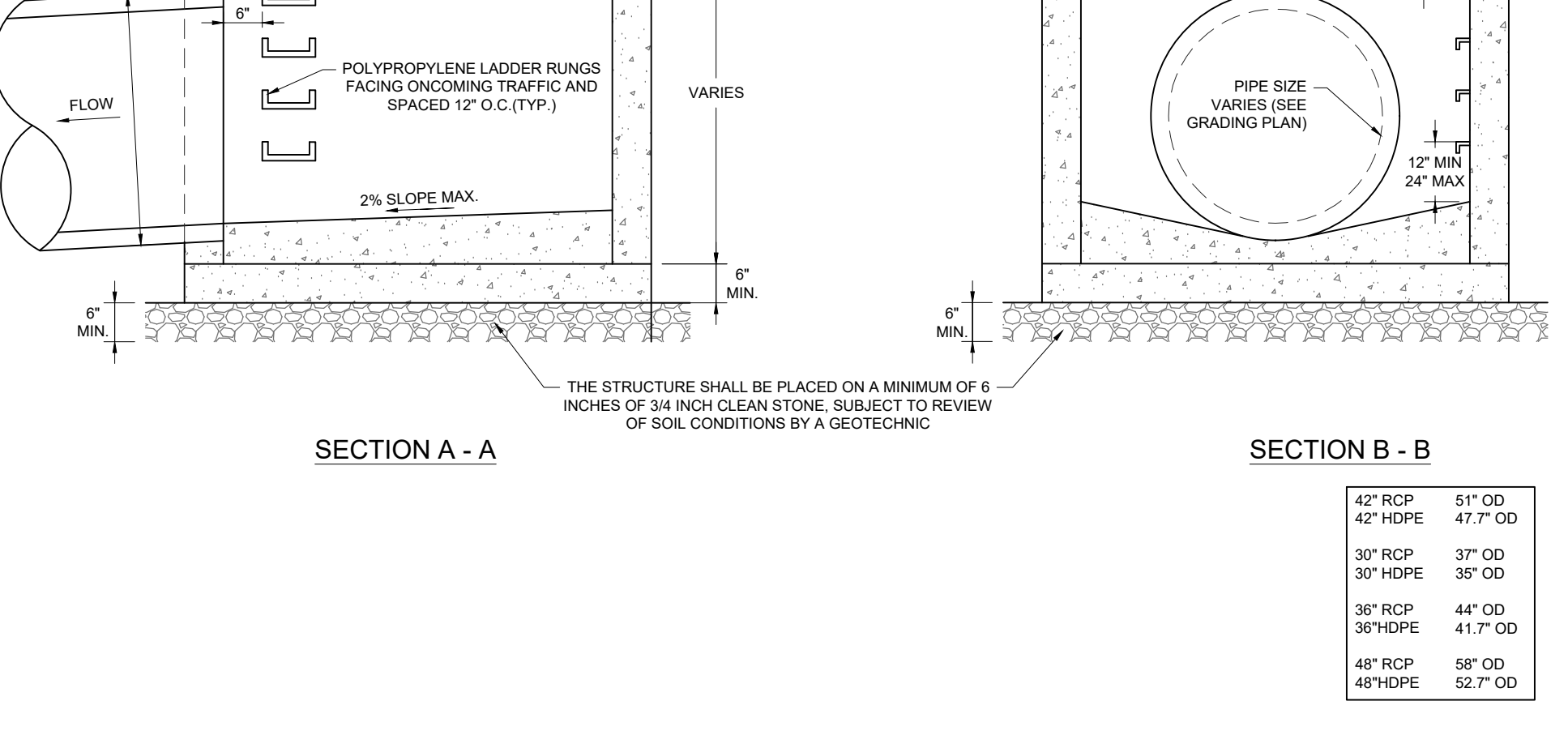
**6 TYPE 'E' SQUARE OVERSIZED 7' x 7' INLET DETAIL**  
NOT TO SCALE (G020304-01/2013)(MODIFIED)



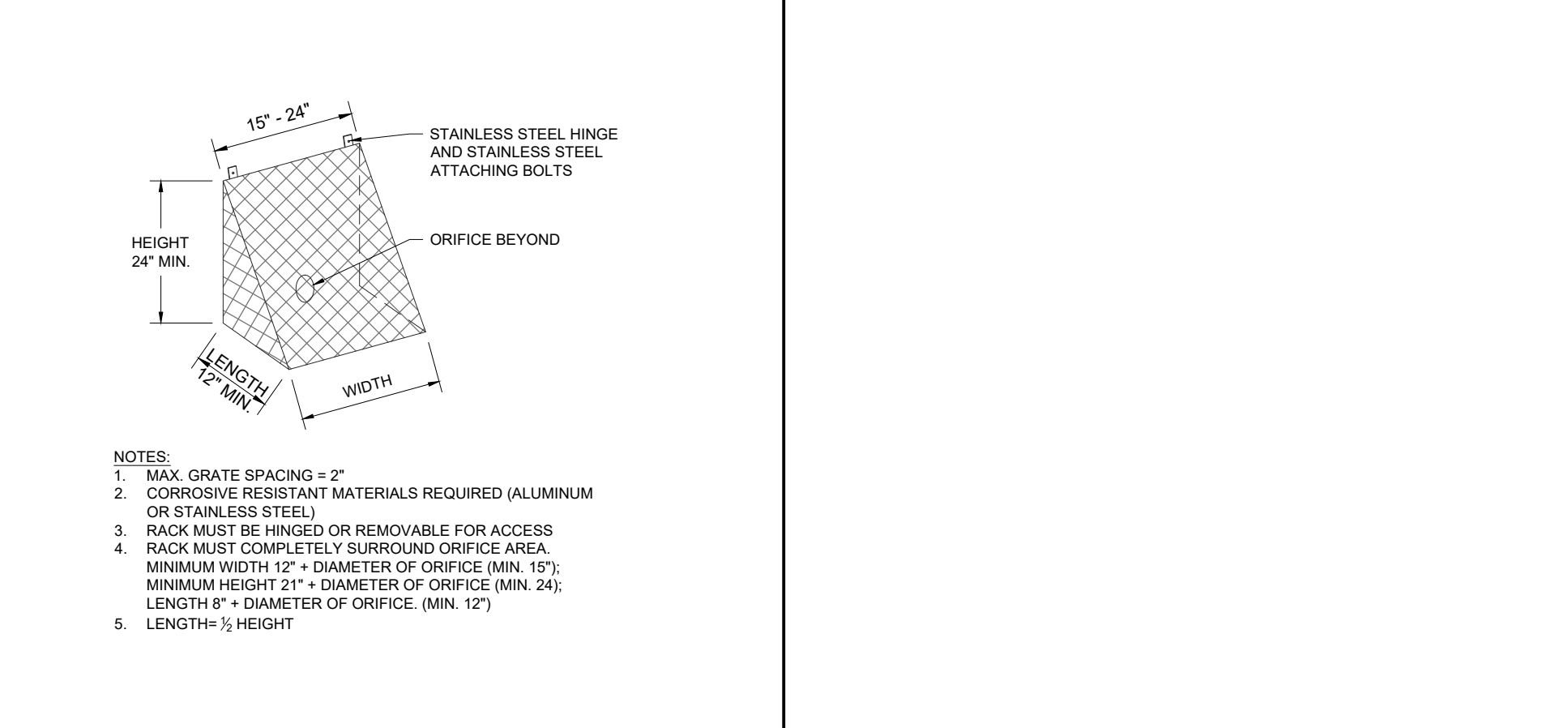
**7 OVERSIZED 6' x 6' MANHOLE DETAIL**  
NOT TO SCALE (G020304-01/2013)(MODIFIED)



**8 STORM MANHOLE FRAME & COVER DETAIL**  
NOT TO SCALE (G020410-01/2013)



**5 STORM TRENCH FOR HDPE PIPE DETAIL**  
NOT TO SCALE (G020911-01/2013)



**10 TRASH RACK DETAIL**  
NOT TO SCALE (G020305-01/2013)



**9 STORM MANHOLE DETAIL**  
NOT TO SCALE (G020407-04/2019)

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PROJECT NO.: J200460  
DRAWN BY: CR/JF  
DATE: 05/03/2021  
CHECKED BY: J200460-CDS-0A  
PROJECT: PRELIMINARY AND FINAL MAJOR SITE PLAN & MINOR SUBDIVISION PLAN FOR CSW AS VI CINNAMINSON URBAN RENEWAL L.P. C/O WESTRUM DEVELOPMENT COMPANY PROPOSED SENIOR LIVING FACILITY MAP: 13 | BLK: 1304 | EXISTING LOT: 18 PROPOSED LOTS: 18.01 & 18.02 605 N.J.S.H. ROUTE 130 TOWNSHIP OF CINNAMINSON BURLINGTON COUNTY, NEW JERSEY

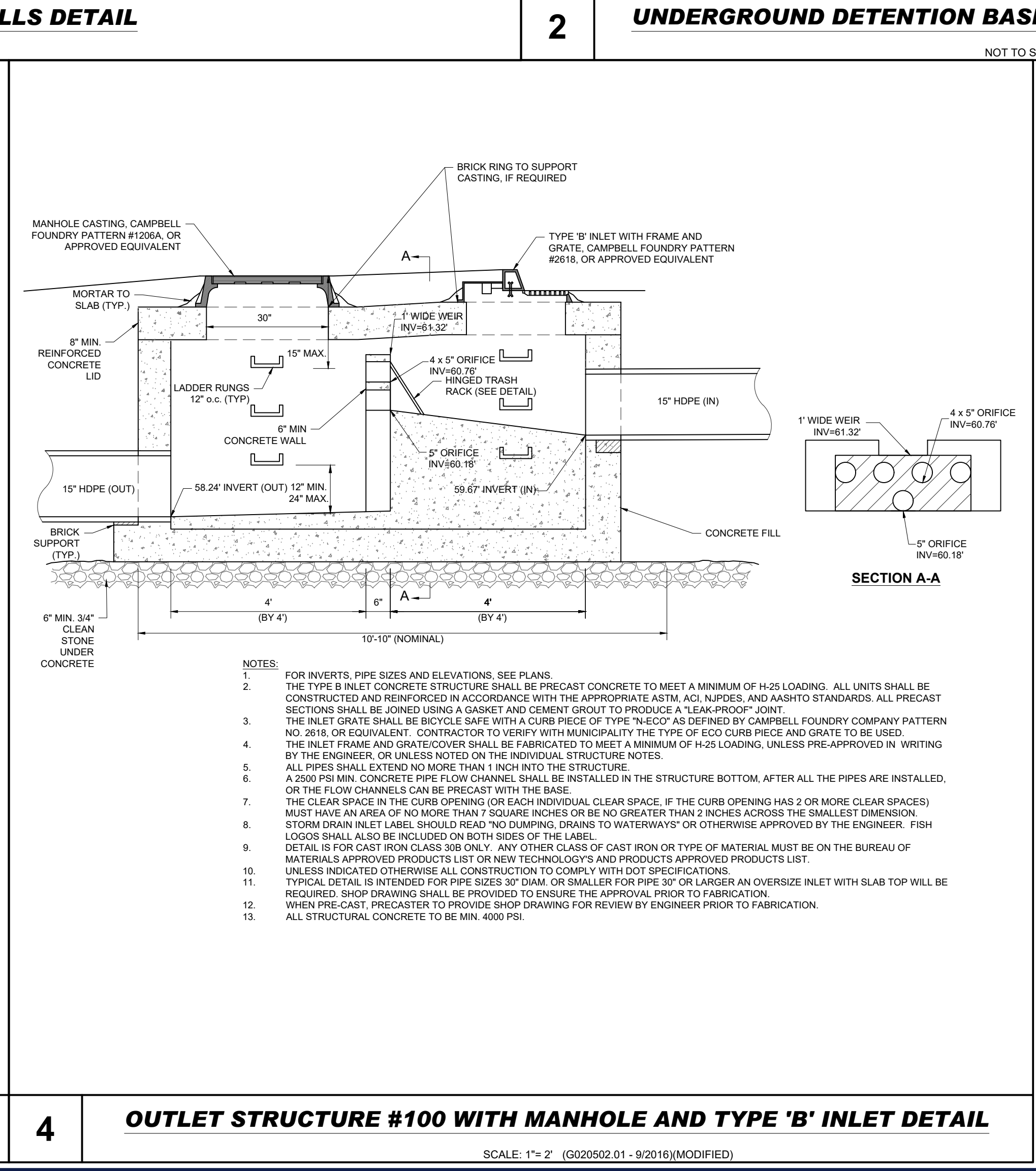
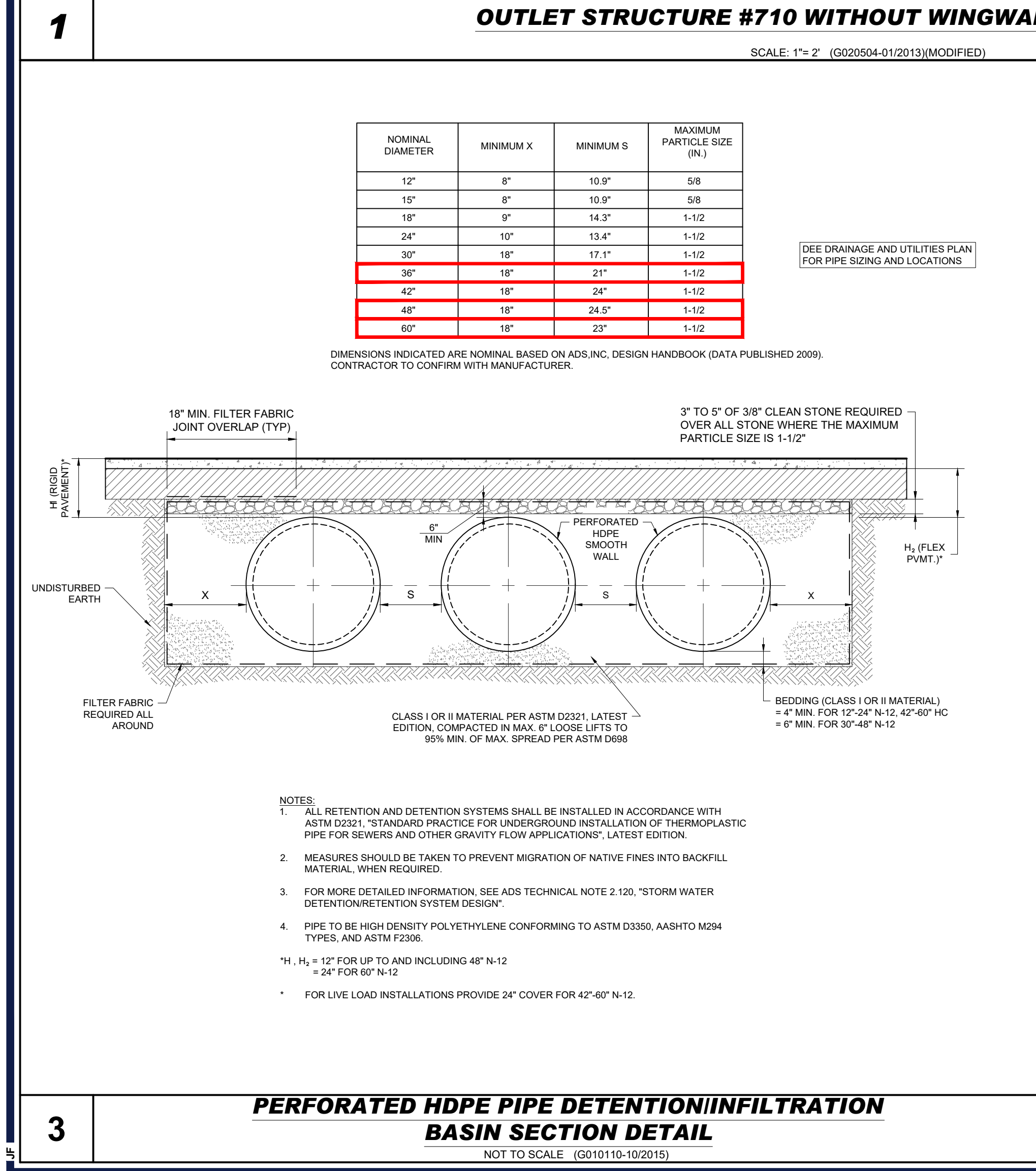
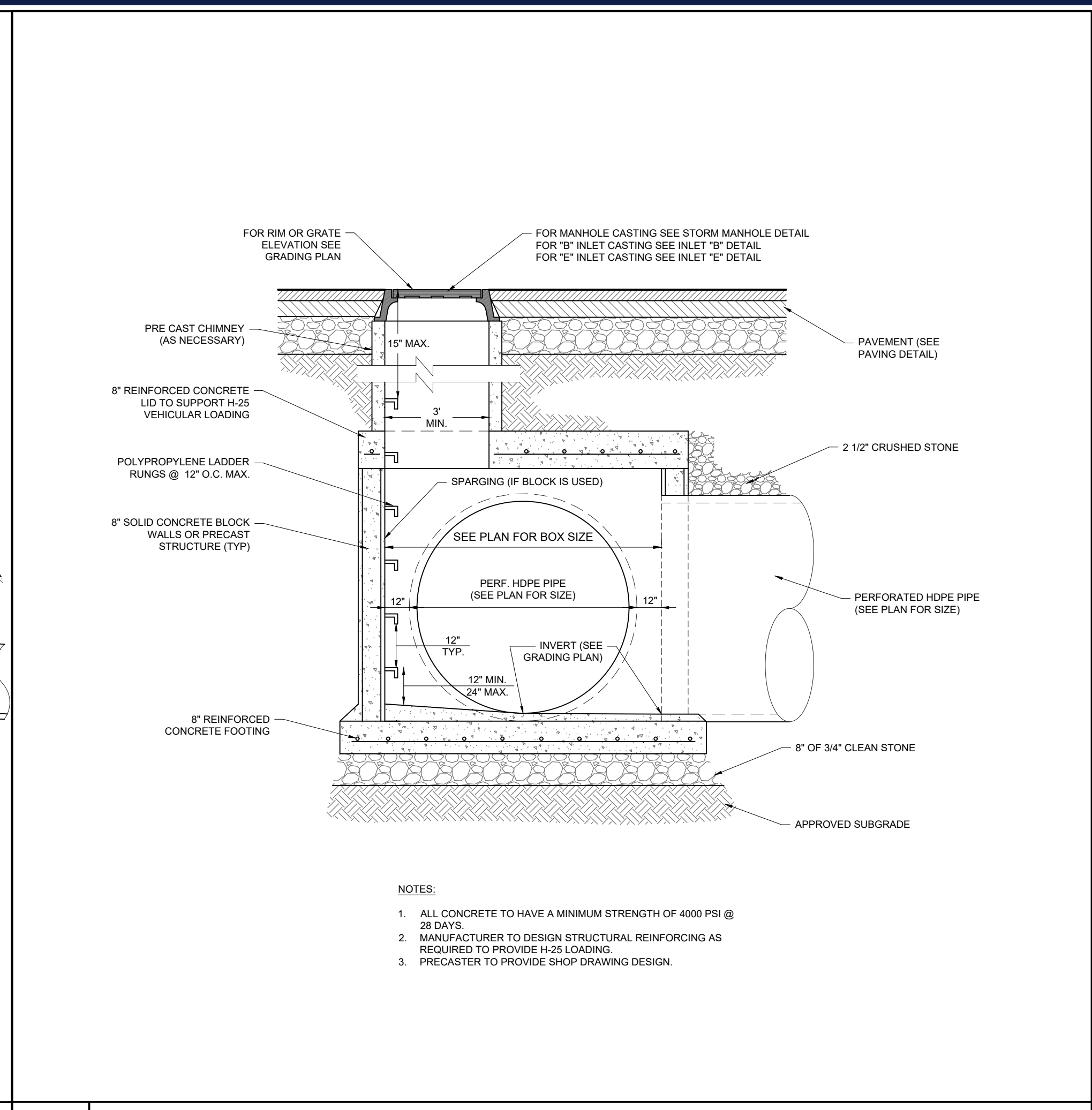
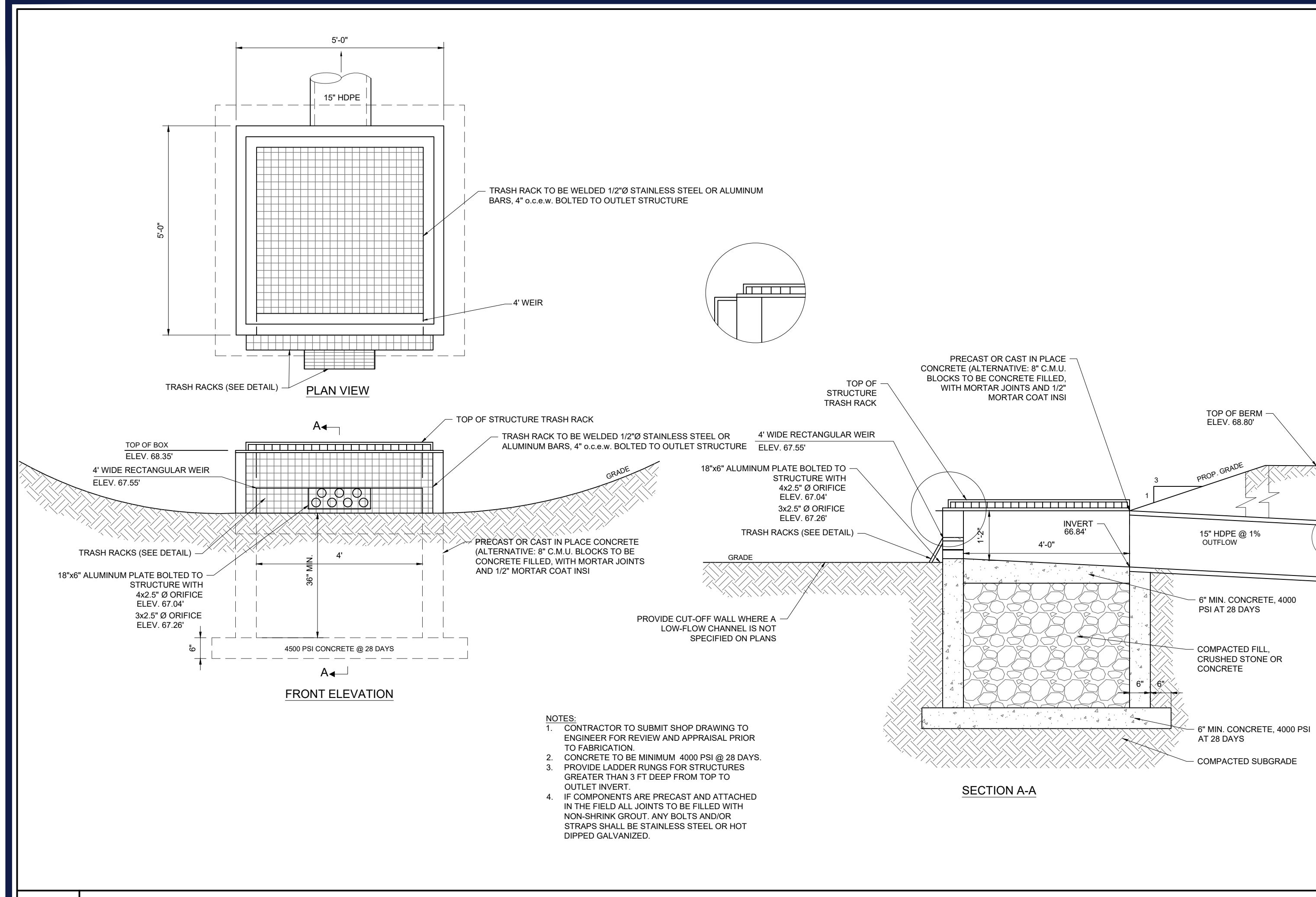
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PENNSYLVANIA LICENSE NO. 085764  
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SHEET TITLE: **DETAIL SHEET**  
SHEET NUMBER: **C-903**  
ORG. DATE - 05/03/2021

G:\020420\0460\DRAWINGS\CURRENT DRAWINGS\SITE PLAN PACKAGE\020460-CDS-0A\...LA\OUT. C-903.DETL





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PROJECT No.: J200460  
 DRAWN BY: CR/JF  
 CHECKED BY: BC  
 DATE: 05/03/2021  
 CAD I.D.: J200460-CDS-0A

PROJECT:  
**PRELIMINARY AND FINAL MAJOR SITE PLAN & MINOR SUBDIVISION PLAN**  
 FOR  
**CSW AS VI CINNAMINSON URBAN RENEWAL L.P. C/O WESTRUM DEVELOPMENT COMPANY**  
 PROPOSED SENIOR LIVING FACILITY  
 MAP: 13 | BLK: 1304 | EXISTING LOT: 18  
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 605 N.J.S.H. ROUTE 130  
 TOWNSHIP OF CINNAMINSON  
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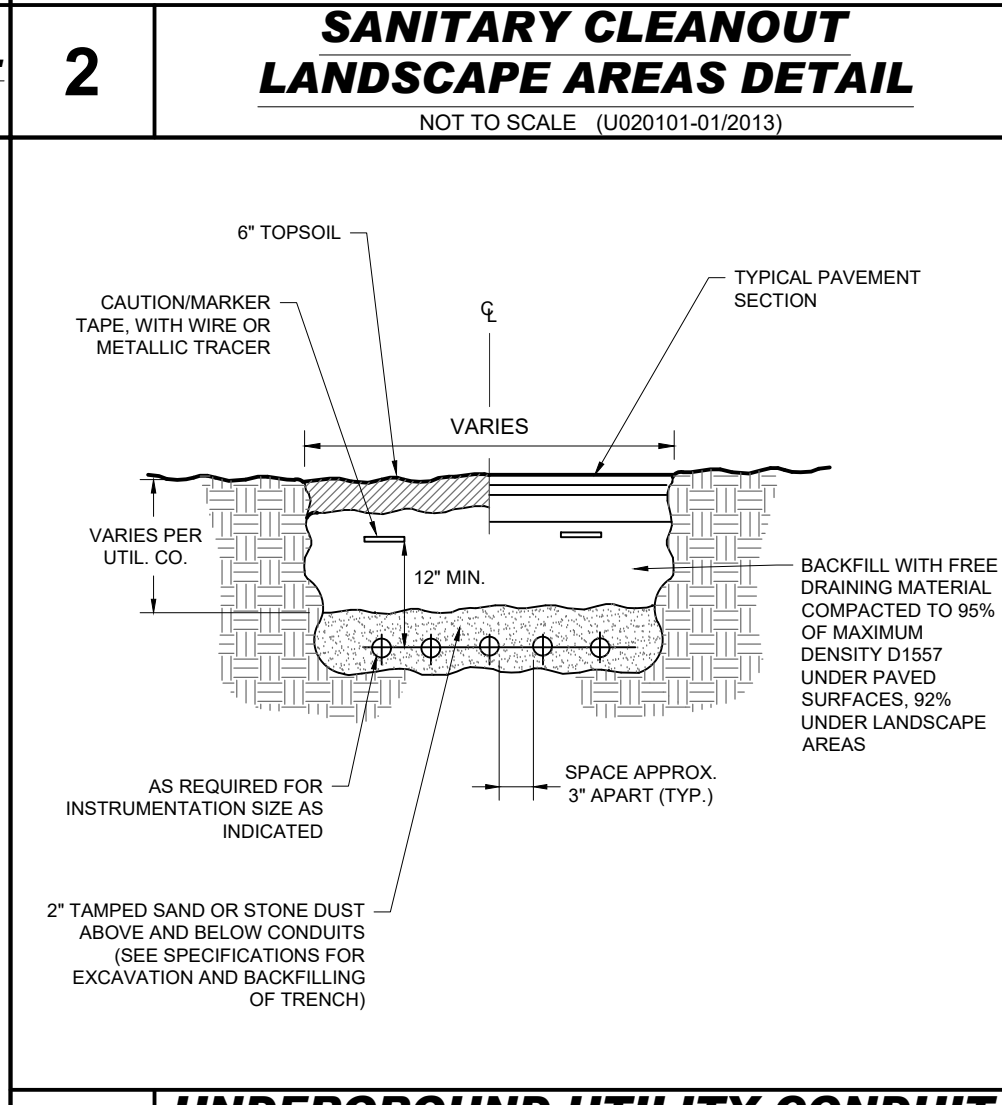
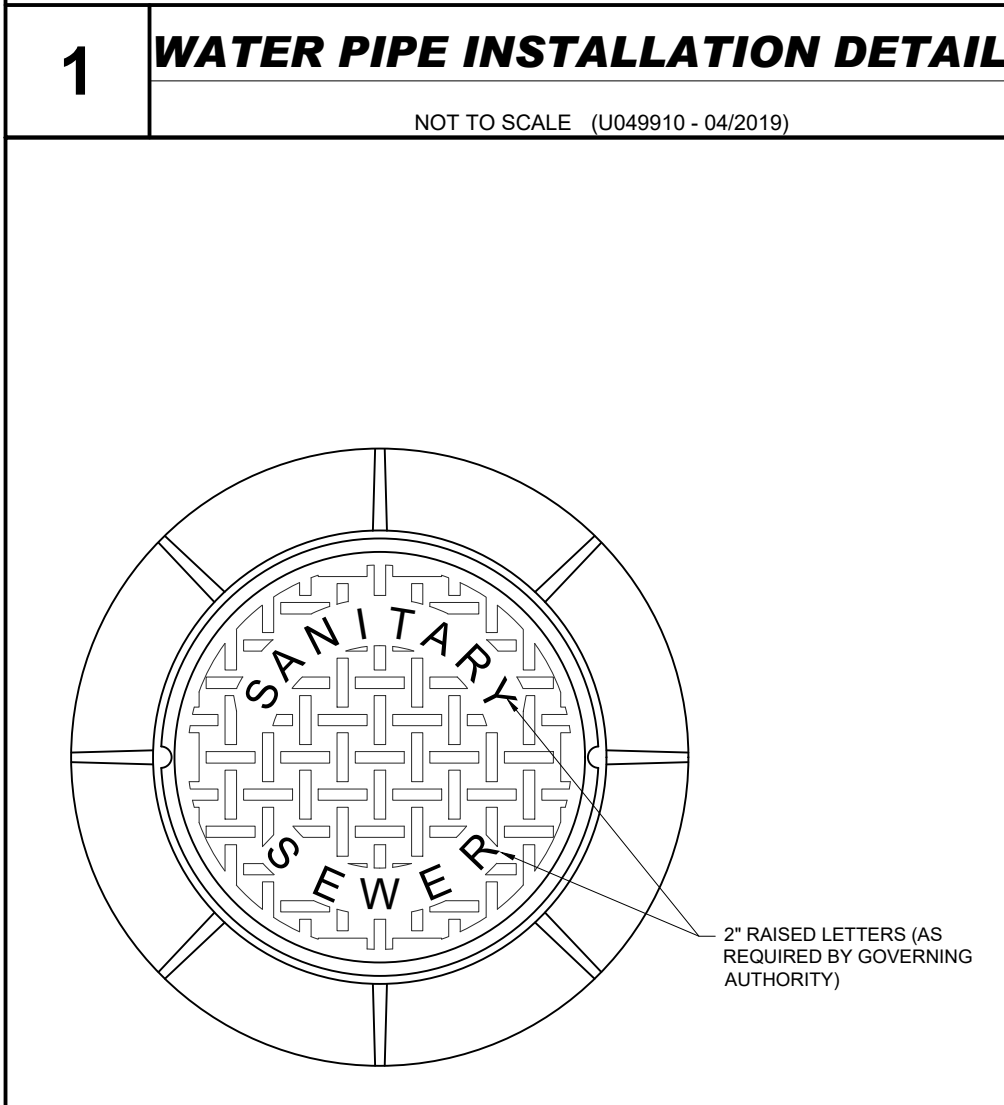
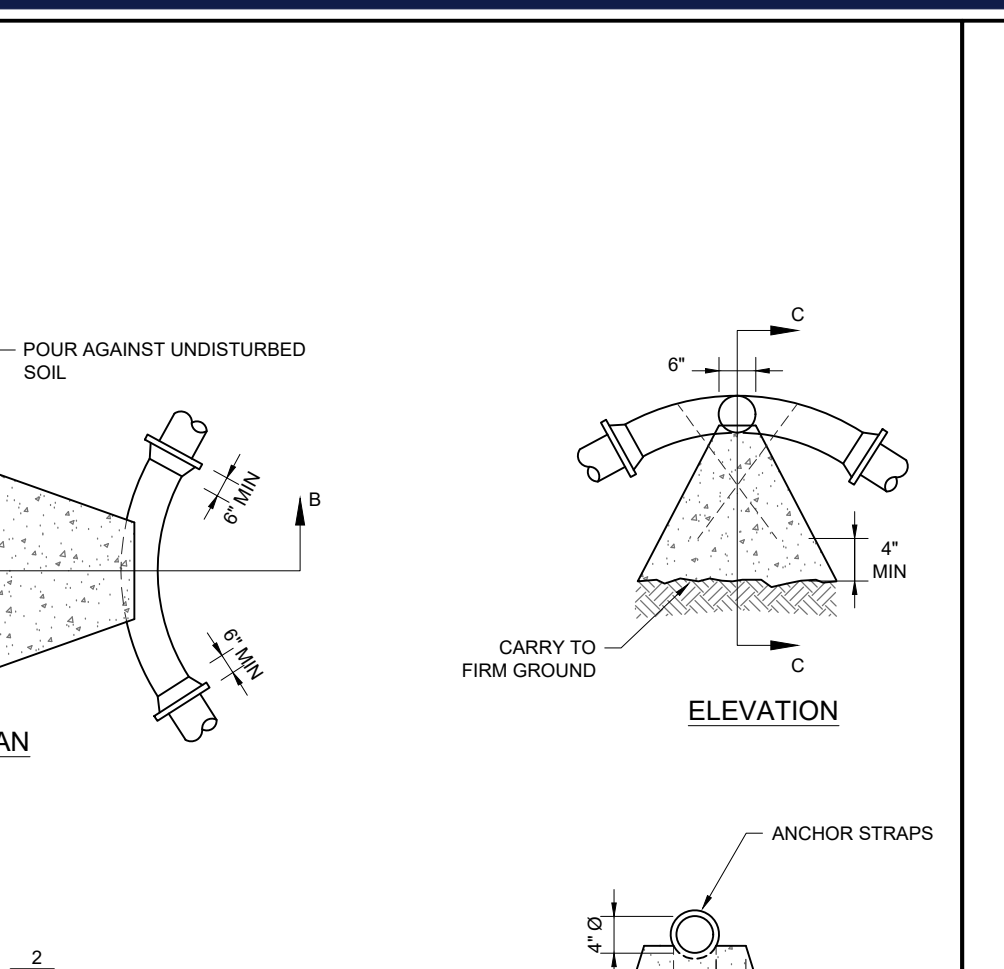
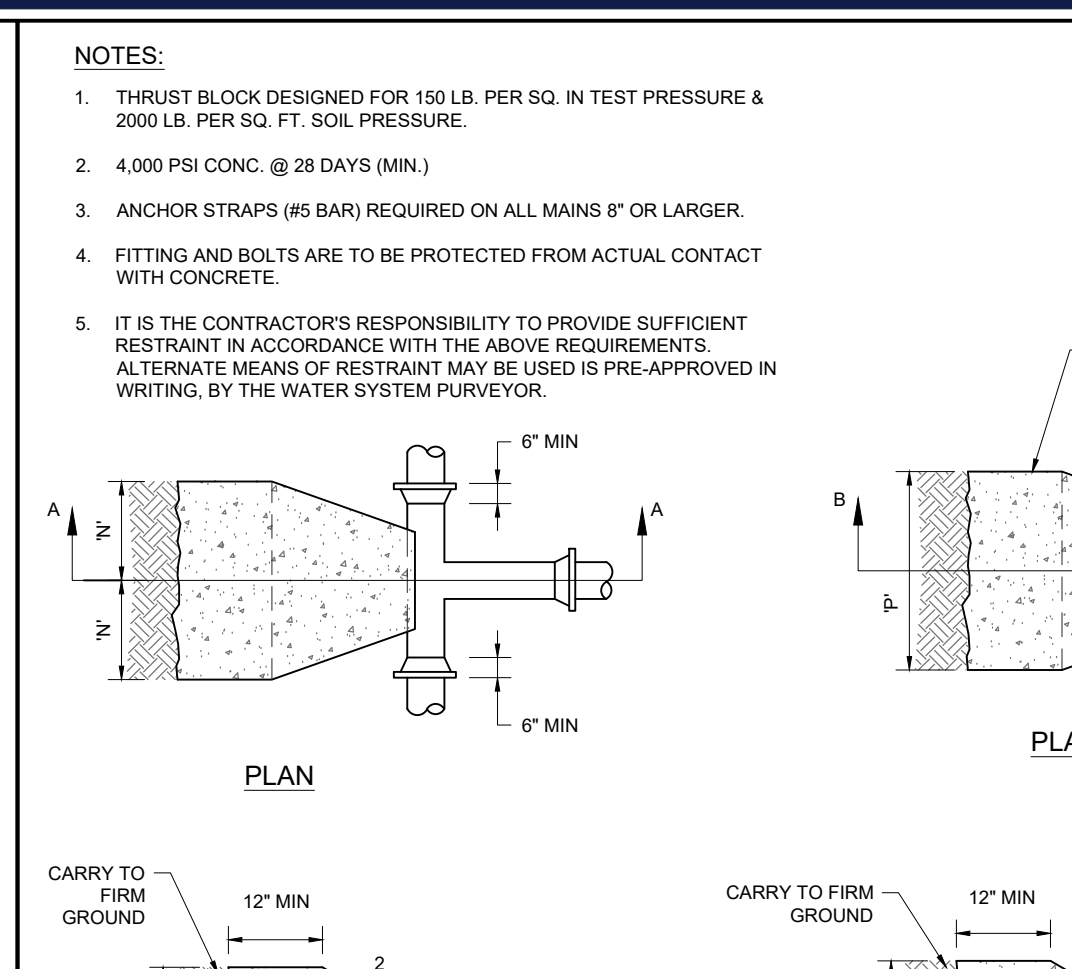
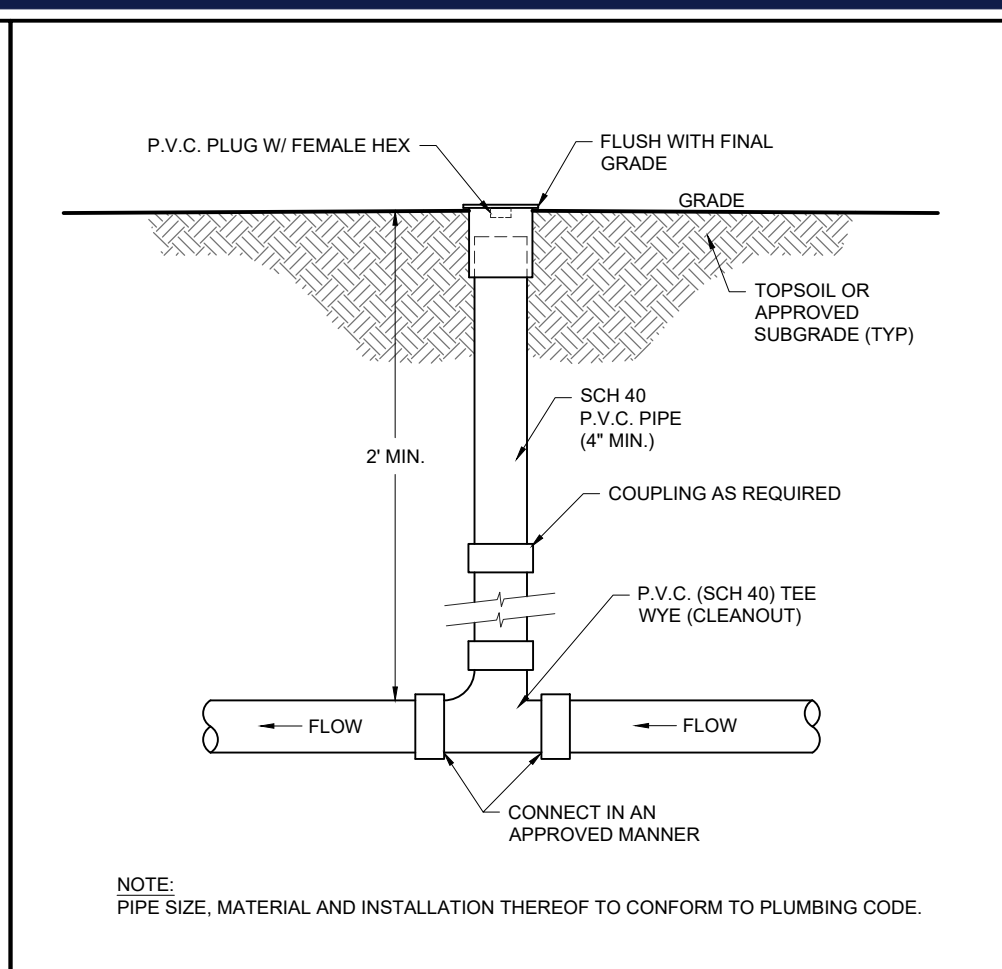
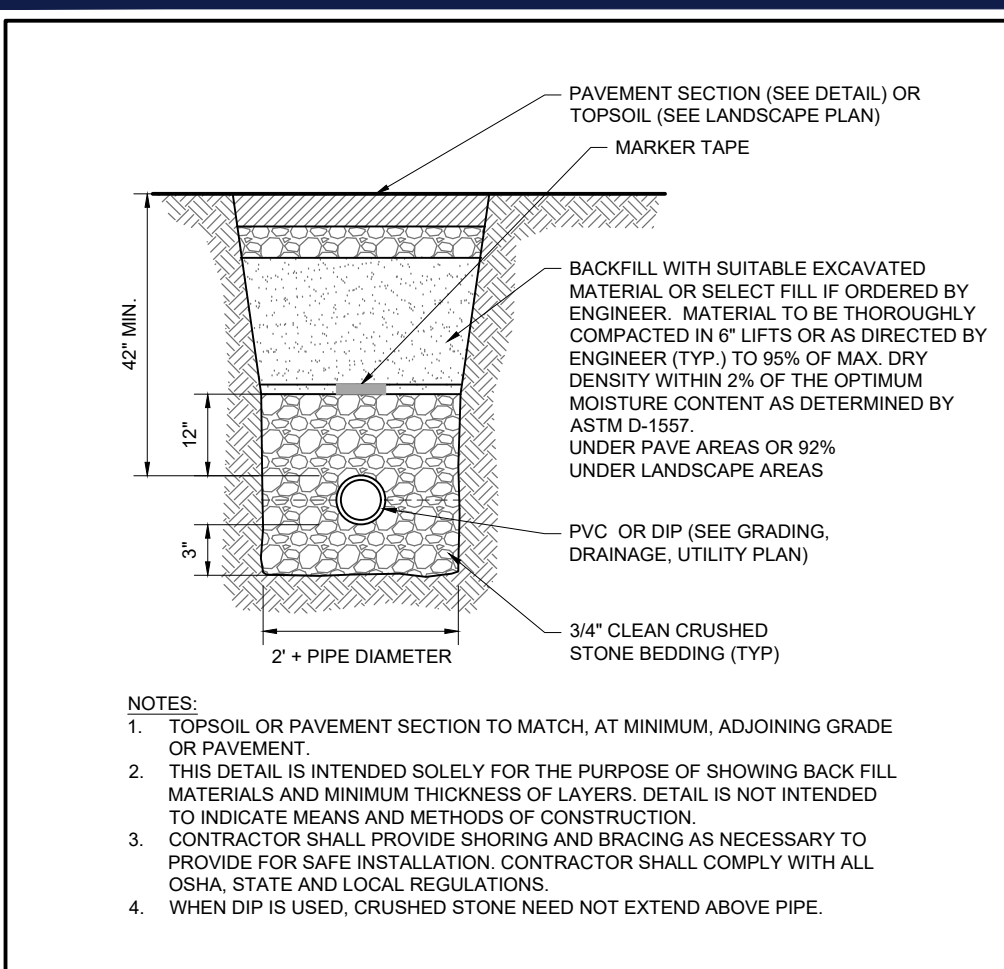
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SHEET TITLE:  
**DETAIL SHEET**

SHEET NUMBER:  
**C-904**

ORG. DATE - 05/03/2021

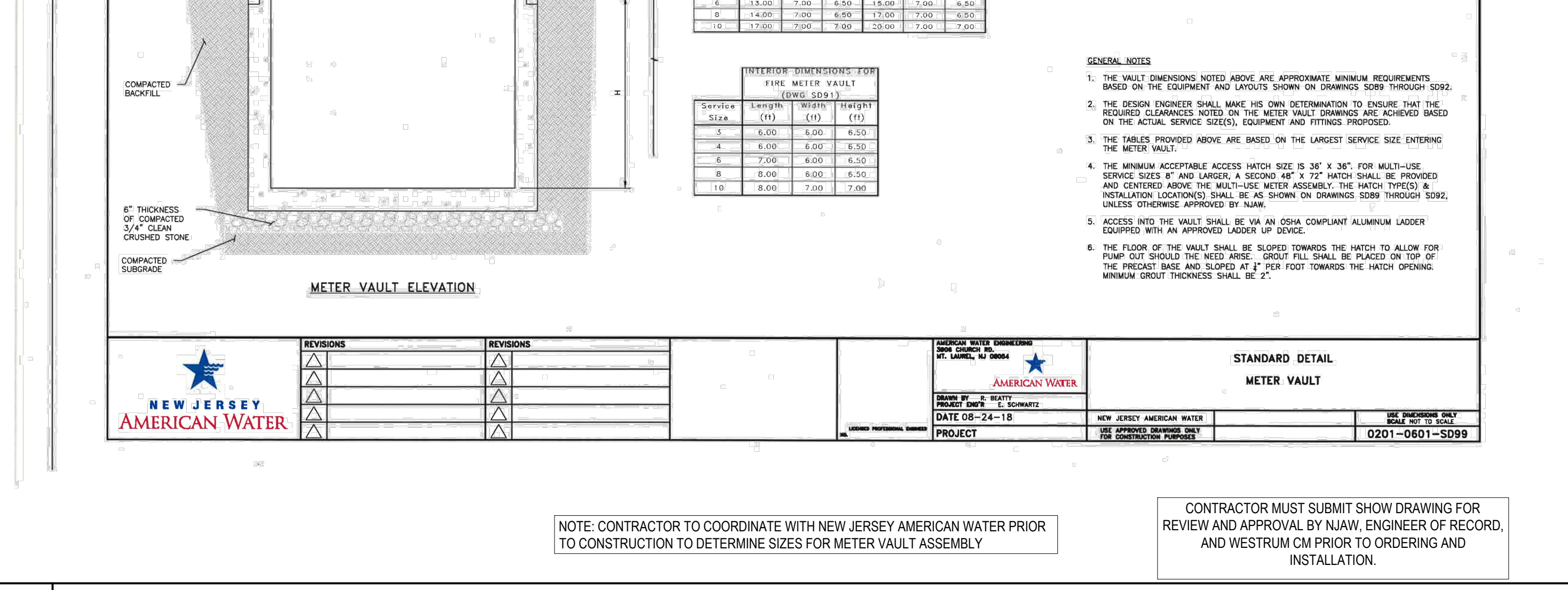
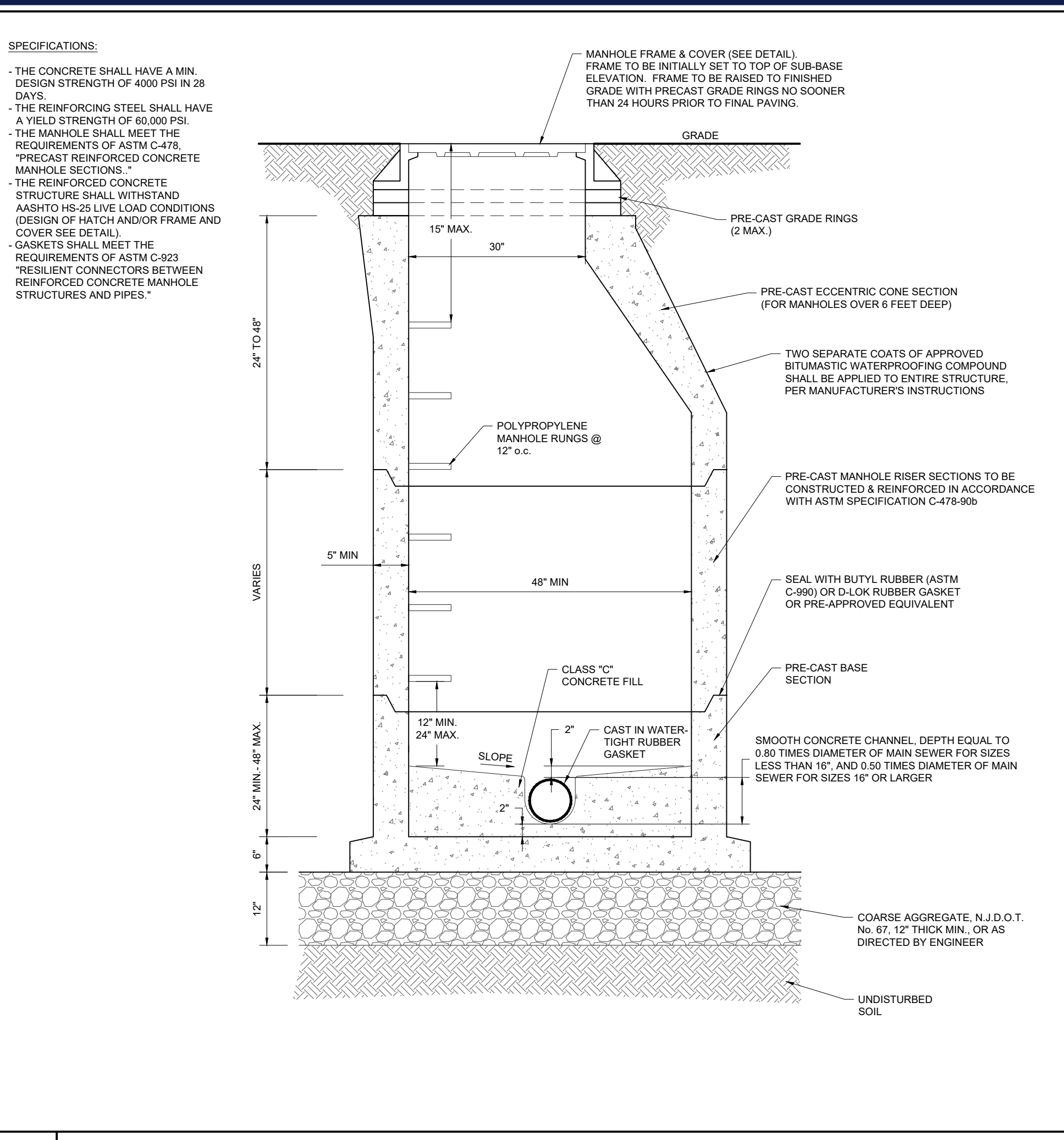
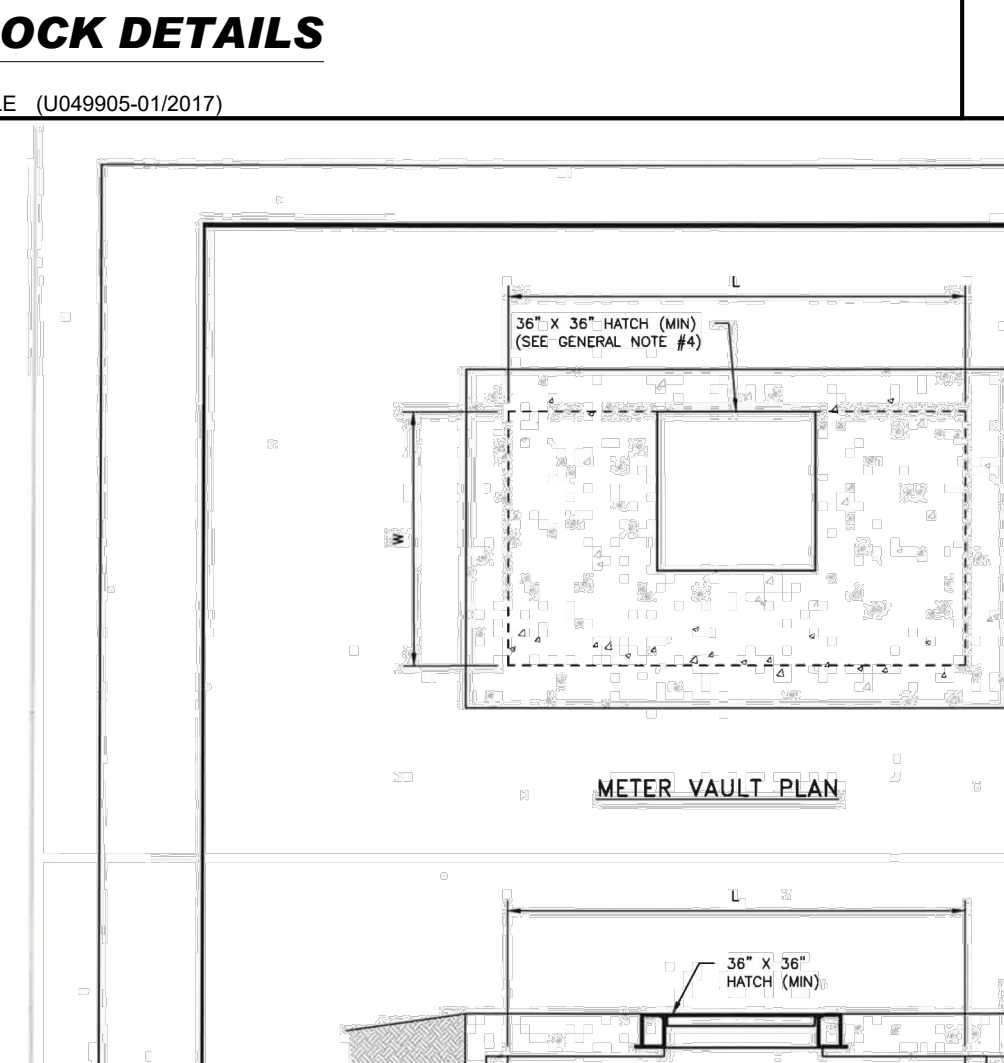
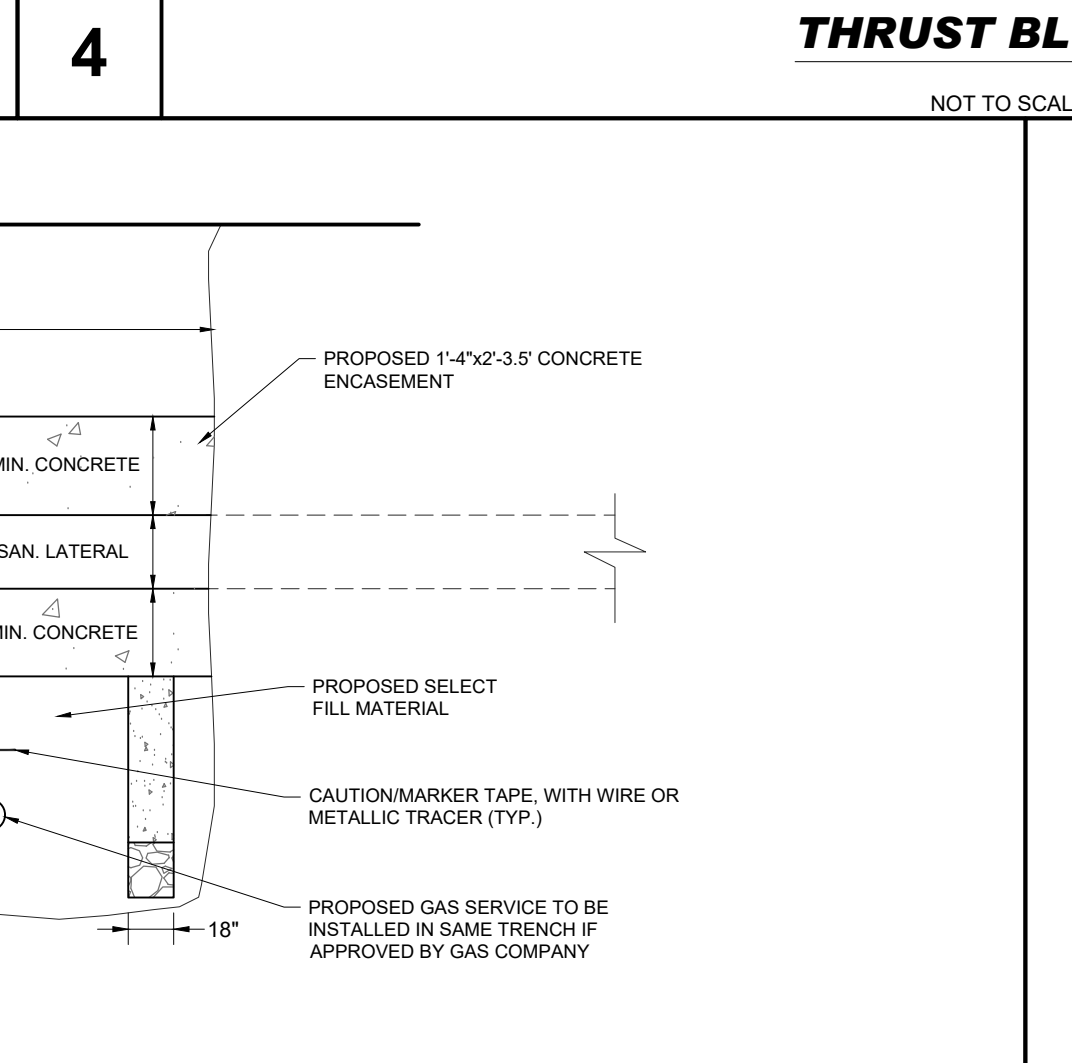
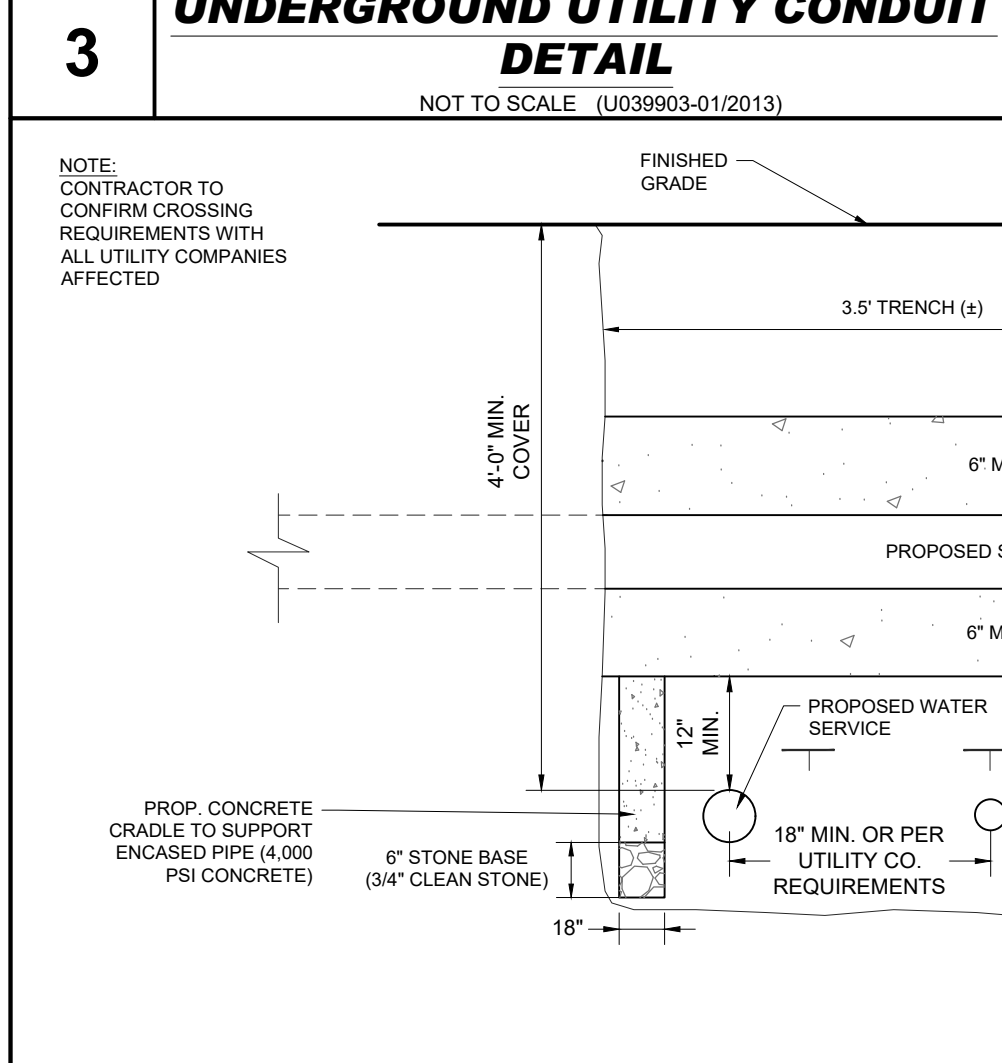
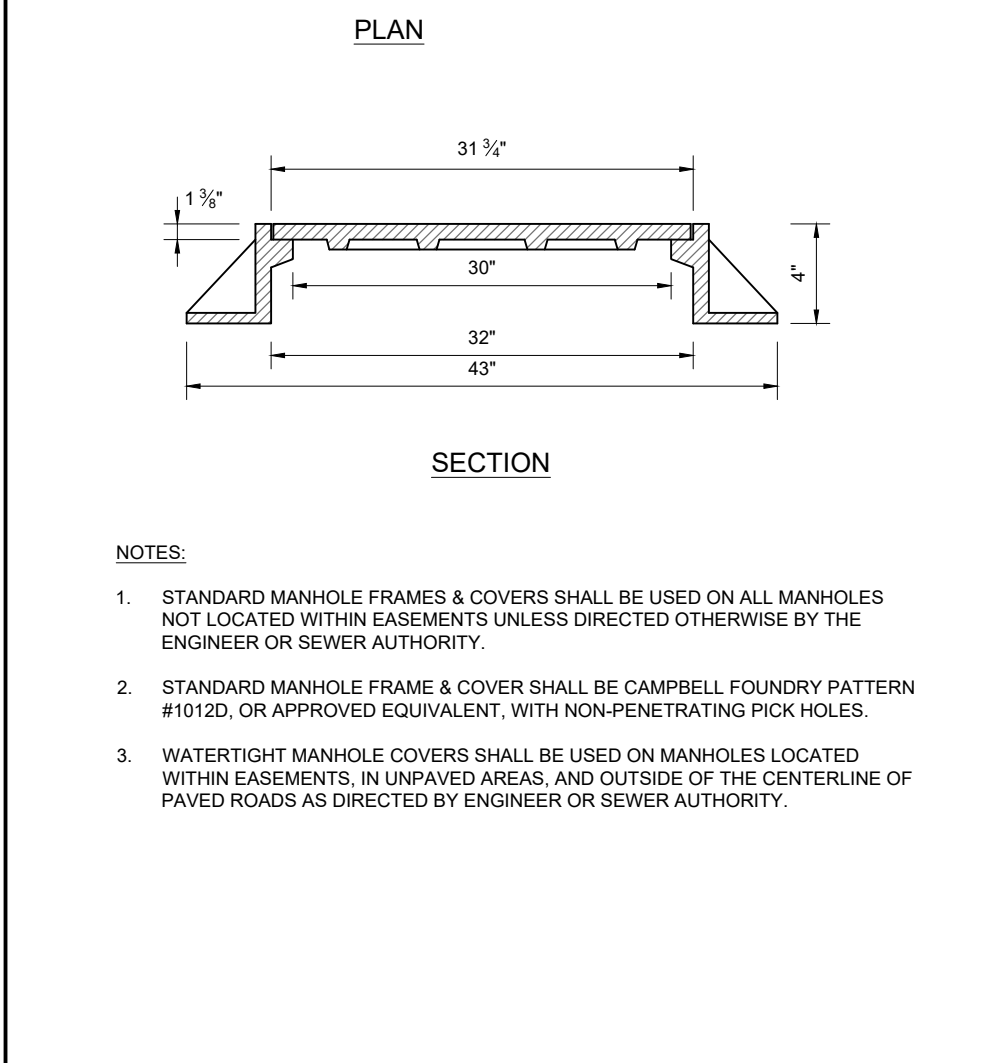
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**THRUST BLOCK FOR TEES, HORIZONTAL & VERTICAL BENDS & PLUGS**

DESCRIPTION	DIMENSION	8"Ø	12"Ø
TEES	N	1'2"	1'8"
	O	1'2"	1'8"
	P	1'2"	1'11"
90° BENDS	G	1'4"	1'11"
	F	1'0"	1'5"
45° BENDS	O	1'0"	1'5"
	P	0'9"	1'0"
22 1/2° BENDS	G	0'9"	1'0"
	F	0'8"	0'9"
11 1/4° BENDS	G	0'6"	0'9"
45° BENDS	MIN. CONCRETE ANCHORAGE	1.9 CY	3.9 CY
22 1/2° BENDS	MIN. CONCRETE ANCHORAGE	1.0 CY	2.0 CY
11 1/4° BENDS	MIN. CONCRETE ANCHORAGE	0.5 CY	1.0 CY
PLUGS	R	2'-4"	3'-4"
	S	2'-4"	3'-4"

\*MINIMUM CONCRETE ANCHORAGE WITHOUT BACKFILL AND NO GROUND WATER CONDITION



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PROJECT No.: J200460  
DRAWN BY: CR/JF  
DATE: 05/03/2021  
CAD ID: J200460-CDS-0A

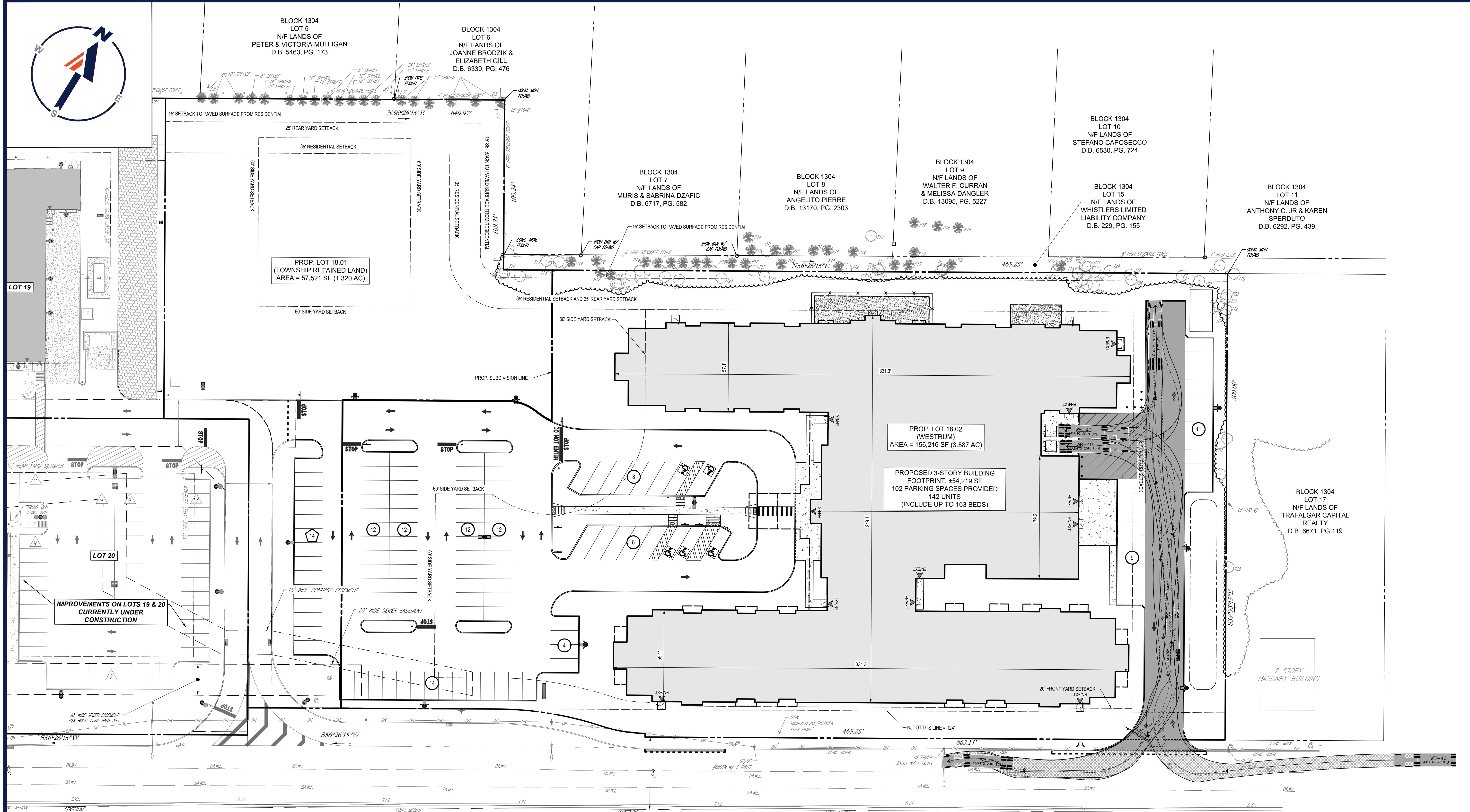
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FOR  
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PROPOSED SENIOR LIVING FACILITY  
MAP: 13 | BLK: 1304 | EXISTING LOT: 18  
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TOWNSHIP OF CINNAMINSON  
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**DETAIL SHEET**  
SHEET NUMBER:  
**C-905**  
ORG. DATE - 05/03/2021

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**NEW JERSEY STATE HIGHWAY U.S. ROUTE NO. 130**

(ASPHALT ROADWAY)  
 (63' WIDE)  
 (50 MPH POSTED SPEED LIMIT)  
 (N.J.D.O.T. JURISDICTION)

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PROJECT: **PRELIMINARY AND FINAL MAJOR SITE PLAN & SUBDIVISION PLAN**  
 FOR



PROPOSED SENIOR LIVING FACILITY  
 MAP: 13 | BLK: 1304 | LOT: 18  
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 TOWNSHIP OF CINNAMINSON  
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 NEW YORK LICENSE NO. 100602

SHEET TITLE:  
**WB-40 TRUCK TURN EXHIBIT**

SHEET NUMBER:  
**C-01**

ORG. DATE - 03/19/2021

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